

Thomson
mcduffie
County, Georgia

Thomson
Historic District
Design Guidelines



PREPARED BY
Ethos Preservation

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Statement of Acknowledgement

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1 Executive Summary

The history of Thomson is inextricably linked to the development of the railroad. Thomson was founded in 1837 with the construction of the railroad and associated depot. Early buildings were built close to the railroad and were typically associated with railroad commerce and industry. Residential buildings were located further away from the railroad. As the town grew, more civic buildings were constructed to serve the community, including churches, schools, and municipal buildings. The town was incorporated as a village in 1854 and was designated as the county seat when McDuffie County was established in 1870.

The Thomson Design Guidelines for rehabilitation, new construction, demolition, and relocation ensure the preservation of Thomson’s historic buildings and its larger historic context while effectively managing growth through compatible alterations. Included here are best practices for rehabilitating historic buildings and ensuring new construction is harmonious with this historic context. The manual provides clarification in simple terms, accompanied by illustrations and examples. Further, charts and diagrams have been added to facilitate greater understanding of the design review process and the role the City, the Historic Preservation Commission, and the property owner play in maintaining, preserving, and enhancing the Thomson Historic District. Thank you for reading and for your continued stewardship of Thomson’s historic resources.

Design guidelines are a tool to help preserve the character of an area by guiding the appearance and materials of buildings. They protect the investments of property owners and business establishments through the objective application of uniform standards that maintain continuity in design and promote appropriate rehabilitation and construction activities. By preserving and maintaining the area’s visual character, the design review process will ensure that future generations enjoy the benefits of the architectural heritage of Thomson.

These guidelines are for property and business owners, residents, Thomson and McDuffie County staff, and the Thomson Historic Preservation Commission for use in the planning, design, and review of material changes in appearance to existing buildings and new construction proposed within the Thomson Historic District.



Design Guidelines Can	Design Guidelines Cannot
Explain, expand, and interpret general design criteria in the local preservation ordinance.	Serve the same legal purpose as the design review provisions of the ordinance. An ordinance is a law, but local design guidelines are typically not laws.
Help reinforce the character of a historic area and protect its visual aspects.	Limit growth or regulate where growth takes place. Guidelines address only the visual impact of individual work projects on the character of a local historic district. Growth itself is a separate issue that must be separately addressed through zoning ordinances and preservation planning.
Protect the value of public and private investment, which might otherwise be threatened by the undesirable consequences of poorly managed growth.	Control how space within a building is used. They usually deal only with the exterior, publicly visible portions of buildings, not with how interior space is laid out or used.
Indicate which approaches to design a community encourages, as well as which it discourages.	Guarantee that all new construction will be compatible with a historic area or the guarantee of creativity that is essential to the best kind of sensitive design.
Serve as a tool for designers and their clients to use in making preliminary design decisions.	Guarantee “high quality” construction. Since materials are generally not specified in design guidelines, final visual results are not guaranteed.
Increase public awareness of design issues and opinions.	--

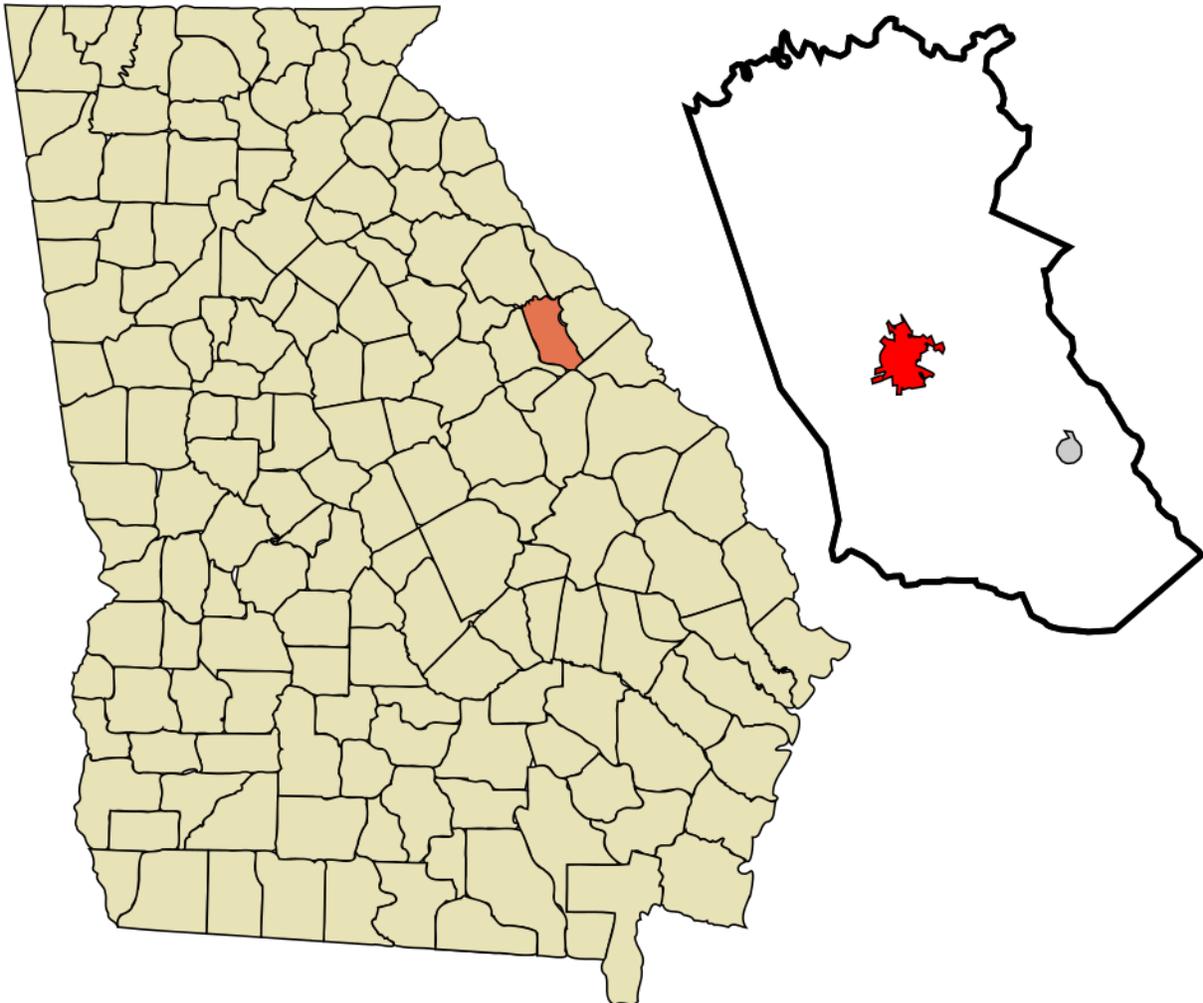
National Park Service, U.S. Department of the Interior. Creating and Using Design Guidelines. (n.d.).
<https://www.nps.gov/crps/tps/workingonthepast/canandcannot.htm>





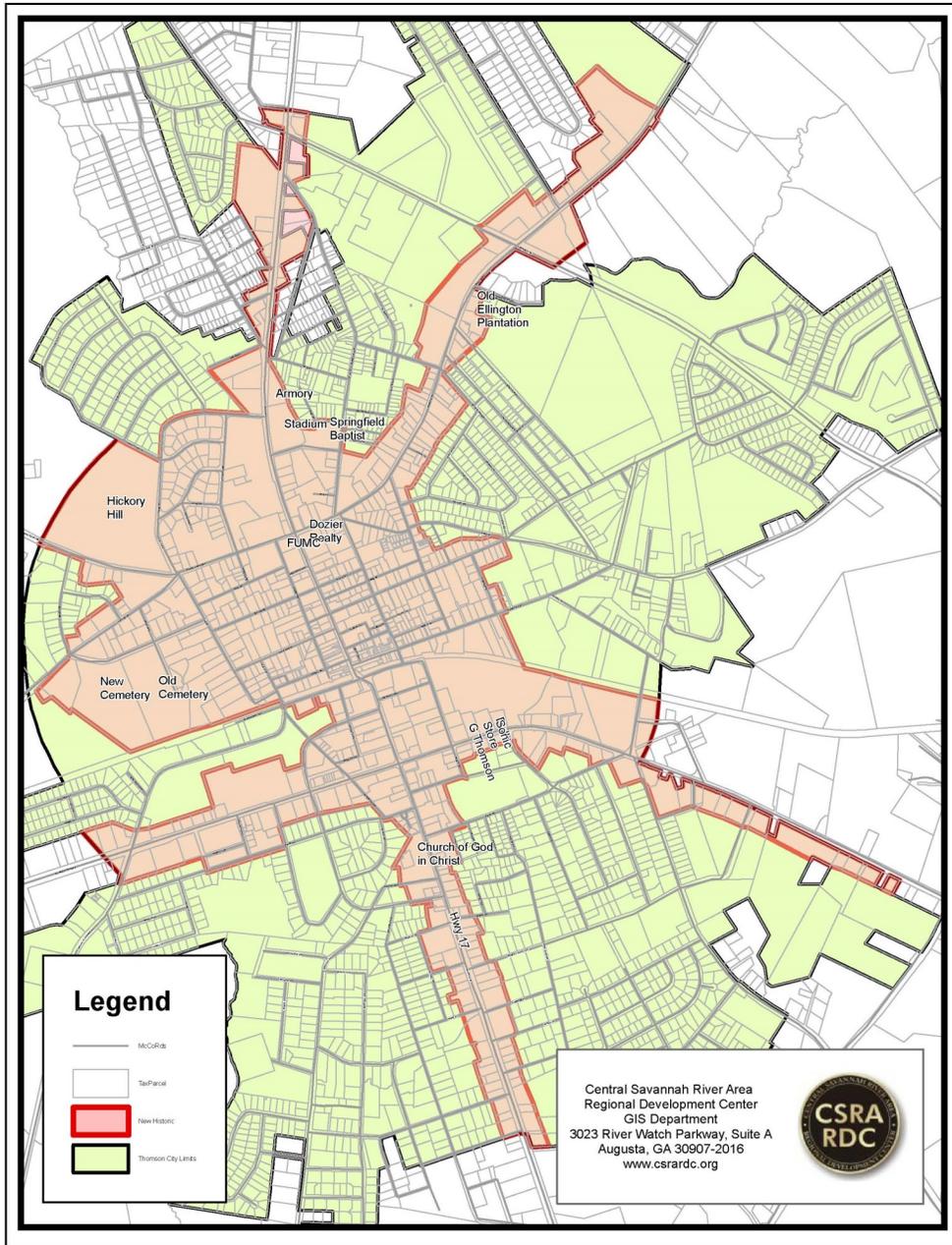
2 District Identification Information

Thomson, Georgia is located in McDuffie County and is the County seat. Located near the border with South Carolina, the city occupies 1.95 square miles.



Map showing the location of McDuffie County within the State of Georgia (left) and map showing the location of the Thomson Historic District within McDuffie County (right)

The local Thomson Historic District was created by City Council in 2007 in order to protect the historic resources of Thomson. It was designated for meeting the historical, cultural, architectural, and aesthetic criteria established by the City of Thomson in Chapter 2, Article IV, Division 4, Section 2-144(b) of the Thomson Zoning Code.



Map showing the boundaries of the Thomson Historic District within the context of the Thomson City limits

Thomson Historic District Design Guidelines



The Thomson Historic District is extensive as almost a third of all properties in the city boundaries lie within the historic district. This is well above the national average of 5%, and on par with the City of Savannah. Over half of the historic district properties are residential, 25% are commercial, 4% are institutional, and 21% are vacant (this includes surface parking lots).

	Number of Parcels	Percentage
City of Thomson	3,008	
Historic District	820	27% (of all parcels)
Commercial	208	25% (of all HD parcels)
Institutional	33	4% (of all HD parcels)
Residential	410	50% (of all HD parcels)
Vacant	169	21% (of all HD parcels)





3 Historic Preservation Ordinance Explained

The City of Thomson’s Historic Preservation Ordinance was adopted by the Thomson City Council in May 2006. The ordinance recognizes that the historical, cultural and aesthetic heritage of the City of Thomson is among its most valued and important assets and that the preservation of this heritage is essential to the promotion of the health, prosperity and general welfare of the people. The ordinance was adopted in order to stimulate revitalization of the business districts and historic neighborhoods and to protect and enhance local historic and aesthetic attractions to tourists, thereby promoting economic development; to enhance the opportunities for federal or state tax benefits under relevant provisions of federal and state law; and to provide for the designation, protection, preservation and rehabilitation of historic properties and historic districts. The ordinance establishes a uniform procedure for the protection, enhancement, perpetuation and use of places, districts, sites, buildings, structures, objects, and landscape features having a special historical, cultural or aesthetic interest or value. At the heart of it all, the ordinance allows for the designation of historic properties and districts and establishes the Thomson Historic Preservation Commission (HPC) to oversee the designation and management of properties and districts.

The HPC and City Council designated the Thomson Historic District as the City’s first local historic district in 2007.

Designation as a local historic district requires that all material changes in appearance to existing buildings and new construction visible from the public right-of-way receive a Certificate of Appropriateness (COA) prior to the issuance of a building permit.

COAs can be issued by the Historic Preservation Commission or City Staff, depending on the scope of work. Both major and minor work require a COA.

Major vs Minor Work

Major changes to buildings are required to be reviewed by the Historic Preservation Commission. Minor changes can be reviewed at the staff level.

Minor work includes various activities in which the visual character of the building is not substantially changed. Major work projects involve a change in the appearance of a building that is substantial in nature (see HPC by-laws for complete list).

Minor Work:

- Repointing of brick or block
- Installation of new light fixtures
- Removal and replacement of damaged or unoriginal siding
- Replacement of architectural features and materials in-kind
- Removal of non-historic accessory buildings
- Signage
- Alterations to non-contributing buildings

Major Work:

- New construction, including accessory buildings
- Additions
- Alterations to original historic materials and features
- Relocating buildings
- Demolition in whole or part of any primary building
- Any item determined by staff to be major work



General building maintenance falls outside of the categories of minor or major work and a Certificate of Appropriateness is not required. Maintenance is defined as the preservation or repair of existing historic materials and building form to include cleaning and painting. Replacement of deteriorated features in-kind (the same material, size, dimensions, and other physical characteristics) may be considered maintenance, depending on the extent of replacement. Consult with Staff to determine if replacement in-kind constitutes general building maintenance or minor work.

Period of Significance

Because of the complex development pattern of the City of Thomson, multiple periods of significance were established, based historic development patterns.

The period of significance for the historic district overall is from 1830 to 1947. The period of significance reflects the time period of the construction of the first building (Usry House) to the post WWII housing boom in which the Knox Company was active and the American Small House was the predominant building type.

A second period of significance was established for the Hickory Hills Subdivision Character Area. The period of significance for this area is 1949-1969.

A third period of significance was established for the downtown commercial core of the district, the Downtown Core Character Area. The period of significance for the Downtown Core is from 1854 (incorporation of the town) and ending in 1973 (following the opening of Interstate 20).

Character Areas

The Thomson Historic District consists of 820 parcels, 125 of which are within a designated character area.

Character Areas are areas within the greater context of the local district which possess unique historical development patterns, architecture, or history which makes it physically distinct and discernable from the rest of the historic district and therefore have some design standards which apply only to a particular character area. Two character areas within the greater historic district were identified: the Downtown Core Character Area and the Hickory Hills Subdivision Character Area.

The Downtown Core Character Area consists of the National Register Thomson Commercial Historic District, as expanded in 2024 (expansion pending approval) and is primarily commercial and urban in context. The Downtown Core has 76 parcels and represents approximately 9% of the total number of parcels of the Historic District.

The Hickory Hills Subdivision consists of the Hickory Hills Subdivision and has 49 parcels, and represents approximately 6% of the total number of parcels in the Historic District.

Contributing vs Non-Contributing Structures

Each of the 820 parcels within the District has been individually surveyed and evaluated to determine their level of significance. "Contributing" buildings are buildings that were constructed during the period of significance and retain historic integrity. These buildings are considered historic and contribute to the historic

significance and character of the district. “Non-contributing” buildings were either constructed outside of the period of significance or have been altered to such a degree as to result in a significant loss of historic integrity. Vacant parcels have also been identified. Of the 820 buildings within the district, 268 have been determined to be contributing. An inventory of contributing buildings has been included as Section 13E.

Name	Number of Properties	Percentage
Historic District (excluding Character Areas)	695	85%
Downtown Core Character Area	76	9%
Hickory Hills Subdivision Character Area	49	6%
Total	820	

Name	Total	C	NC	Vacant
Historic District (excluding Character Areas)	695	188	365	142
Downtown Core Character Area	76	39	9	28
Hickory Hills Subdivision Character Area	49	41	8	0
Total	820	268	382	170



Thomson Historic District Properties



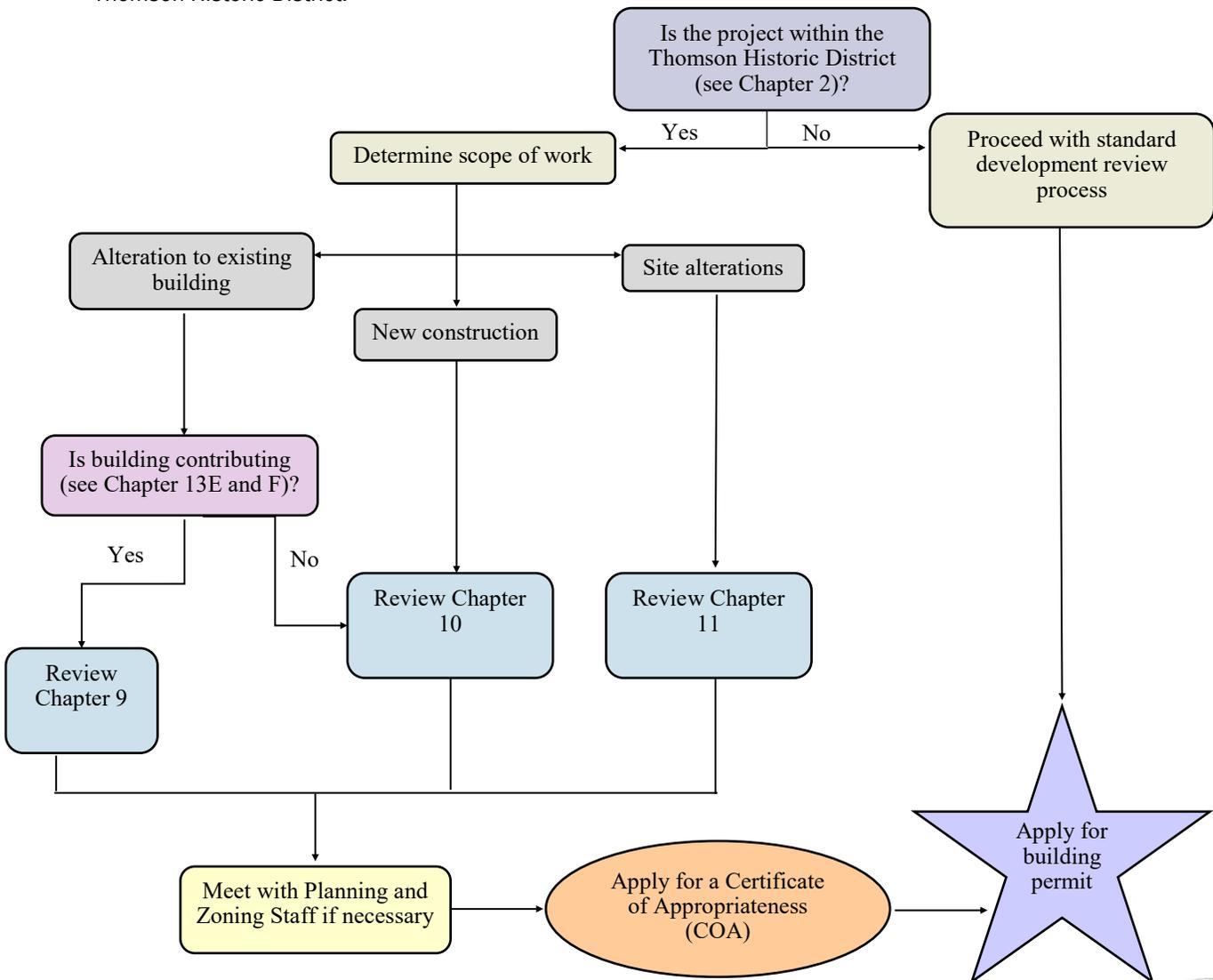
Map indicating the boundaries and contributing status of all districts and properties within the Thomson Historic District. Additional, larger maps and corresponding list can be found in Sections 13E and F.





4 Historic Preservation Commission and Review Process

The Thomson Historic Preservation Commission (HPC) consists of five members, all of whom must be City residents and have a demonstrated interest in historic preservation. The HPC holds meetings monthly. A schedule of HPC meetings can be found on the City's website. All meetings are open to the public. The HPC and Planning and Zoning Staff review all material changes in appearance to local historic properties and districts and have authority to approve or deny Certificates of Appropriateness (COA) for projects within the Thomson Historic District.





5 Process for Creating Design Guidelines

The Thomson Historic District Design Guidelines is the next step in the City's ongoing effort to protect its historic resources.

In 2007, the City of Thomson adopted a historic preservation ordinance which created the Thomson Historic District and established the Thomson Historic Preservation Commission (HPC).

Initially, the HPC utilized the Secretary of the Interior's Standards for Rehabilitation to evaluate projects but eventually determined that a more comprehensive document was needed to assist in the decision-making process.

McDuffie County received a Historic Preservation Fund grant in 2021 to create design guidelines for the residential portion of the district. Consultant Ethos Preservation was awarded the contract. The Period of Significance was established as 1835 to 1947 in most of the district. However, a Character Area of the district, the Hickory Hills Subdivision, has a period of significance of 1949 to 1969. Historic resources were surveyed and documented as contributing or non-contributing. The residential design guidelines were completed in 2022.

In 2023, McDuffie County received a second Historic Preservation Fund grant in order to create design guidelines for the commercial buildings in the district. Ethos Preservation was again awarded the contract. A second Character Area, the Downtown Core Character Area with a period of significance from 1854-1973 was established. This character area mirrors the 2024 proposed revisions to the National Register Thomson Commercial Historic District. The commercial design guidelines were incorporated into the same document as the residential design guidelines and were completed in 2024.



6 How to Use this Manual

The design guidelines serve as a user-friendly complement to the standards provided in the Historic Preservation Ordinance, Chapter 2, Article IV, Division 4, Section 2 of the City of Thomson’s Zoning Ordinance. The guidelines reinforce and expand upon the standards to more comprehensively address issues affecting residents and business owners within the Thomson Historic District. The guidelines are designed to be generally applicable to all building styles, types, and uses, including residential, commercial, and institutional and are not intended to address rare and unusual situations. It is helpful to consult with Planning and Zoning Department Staff in the planning stage of a project. This helps to ensure all the standards are met.

Step-by-Step Guide

Step 1: Verify that the property is within the Thomson Historic District. Consult Chapter 3 to determine if the property is within the boundaries.

Step 2: Determine scope of work. Different projects have different standards which apply:

- Alterations or additions to existing buildings
- New construction
- Site alterations (including signage, fencing, parking, etc.)
- Demolition and relocation

Step 3: If the project involves alterations to an existing building, determine if the property in question is considered “contributing.” Contributing, or historic structures, have different standards than non-contributing buildings. Consult Chapter 13E and F to determine if a property is contributing.

Step 4: Review the applicable standards, as determined by the scope of work. The guidelines elaborate on and explain the design standards.

- Alteration to existing buildings
 - * Contributing: Review Chapter 9
 - * Non-contributing: Review Chapter 10



- New construction: Review Chapter 10
- Site alterations: Review Chapter 11
- Demolition and relocation: Review Chapter 12

Step 5: Prepare a Certificate of Appropriateness (COA) application (see Chapter 6) and supplementary documentation. The COA will either be reviewed by Staff or the Historic Preservation Commission (depending on the scope of work) for consistency with the design standards and guidelines. If reviewed by the Historic Preservation Commission, a public meeting will be held of which the applicant will be notified in advance. Once the design standards are met, a COA will be issued by mail and e-mail, when available.

Step 6: Apply for a building permit for the work. A COA must accompany the building permit application in order for a building permit to be issued.

Step 7: Complete the project! The COA is valid for 12-months. A staff-level, one-time 12-month extension is available, if needed, to finalize the project.



Common Questions

Who Uses the Design Guidelines?

Property Owners, Business Owners and Design Professionals: Property owners, business owners, and design professionals (such as architects, engineers, and contractors) should consult the guidelines for any project that affects the exterior of any property within the district, including maintenance and repair, construction of an addition, new construction or demolition.

City of Thomson Planning and Zoning Department Staff: Staff of the Planning and Zoning Department use the guidelines when providing guidance to property owners, business owners, and design professionals; determining if administrative approval is appropriate; approving COAs; and making recommendations to the Historic Preservation Commission.

Historic Preservation Commission Members: The guidelines are also intended for use by the Historic Preservation Commission (HPC). While the HPC considers the particular circumstances and context of a specific property for an individual review, the HPC uses the guidelines as a basis for their approval or denial of a COA application. Use of the guidelines helps to ensure that reviews are consistent, fair, and rooted in the standards.

Community Members: Interested community members may use the guidelines when providing public comment to the HPC to help to ensure that reviews are consistent and maintain the character of the district.

What's in the Guidelines?

The guidelines expand on and explain the design standards found in the ordinance and are intended to apply to residential, commercial and institutional buildings. There are standards which apply to alterations to existing buildings as well as standards for new construction.

When to Use the Guidelines?

The guidelines should be consulted early in the planning process for any development within the district. This includes alterations to existing buildings as well as new construction. Early consultation will help to ensure that the scope of work is consistent with the guidelines and also that the timeframe for the review process is adequate.

Why Use the Guidelines?

It is important that the guidelines be consulted early in the planning process to avoid getting too far along with a project that might be considered inappropriate. This can help save both time and money in the long-run. If a project within the Thomson Historic District does not receive a COA (if required), a building permit will not be issued. If work proceeds, a stop work order may be issued or additional enforcement action taken.

Where is the Most Current Version of the Guidelines?

The guidelines may be amended from time to time to ensure consistency with the design standards and provide additional clarification. The most current version of the guidelines can be found on the City of Thomson's website.



7 History of the Thomson Historic District

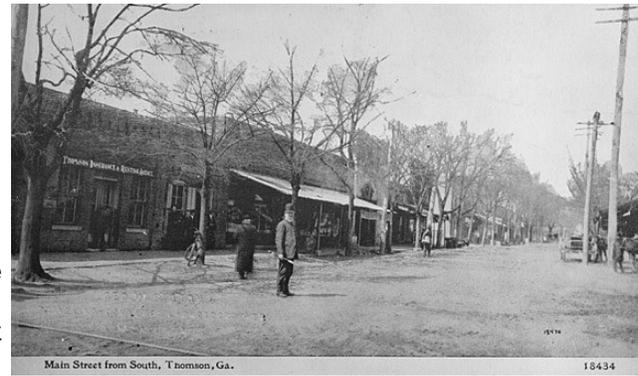
The history of Thomson, Georgia is inextricably linked with the growth of the railroad. Founded as “Slashes” in 1837, Thomson was a stop on the Georgia Railroad line between Augusta and what was then known as Marthasville, now Atlanta. The location was selected because it was where the rail line intersected with Wrightsboro Road, the previous main transportation route in the area. The first structure associated with the railroad was a wooden depot, which was later replaced with a granite depot in 1860. Most of the district is located to the north of the railroad tracks. The tracks were laid along the outer shelf of the Tuscaloosa geographic fall line which separates the red clay of the Piedmont from the white sand of the Coastal Plains in order to avoid watercourses. Main Street, which originally led to Wrightsboro Road, is laid along the ridge of the fall line.

Initially, most of the land that is today part of the city of Thomson was owned by John Langston, a farmer who converted his house into a hotel to serve the travelers and workers of the railroad. Reverend J.H. Stockton, Langston’s son-in-law, followed his example and purchased land to the south of the railroad. Stockton is sometimes credited with the development of the downtown business district. He established building lots and in 1850 built the Greenway Hotel, later known as the Knox Hotel. A prominent businessman and civic leader, Stockton gave land to establish the first high school and the First Baptist Church. Commercial development occurred axially with the depot serving as the hub for growth. Various mercantile stores, warehouses, and community landmark buildings grew up along the rail line east-to-west and north-and-south along Main Street, while residences were established beyond that. Initially, the vast majority of Thomson’s buildings were of wood construction.

In the early days, Thomson was called “Hickory Level” and “Frog Pond” in addition to “Slashes,” but in 1854, it was named after J. Edgar Thomson of



Railroad Street, 1910. Digital Library of Georgia



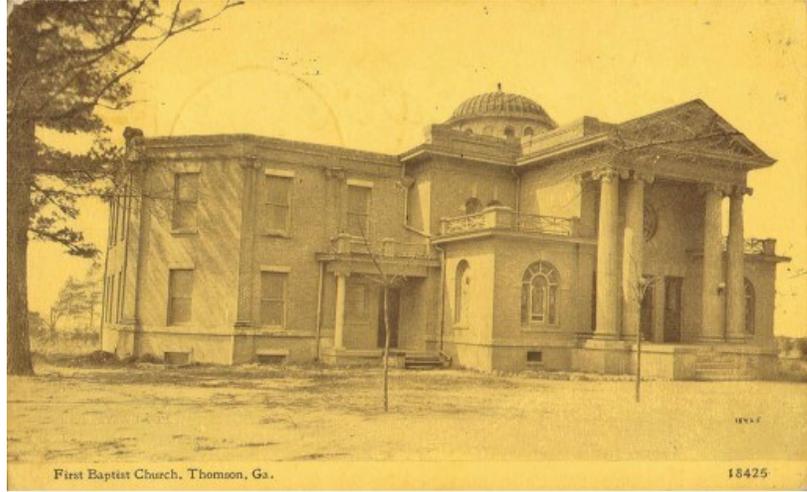
Main Street, 1910. Digital Library of Georgia



Knox Hotel, 1910. Digital Library of Georgia

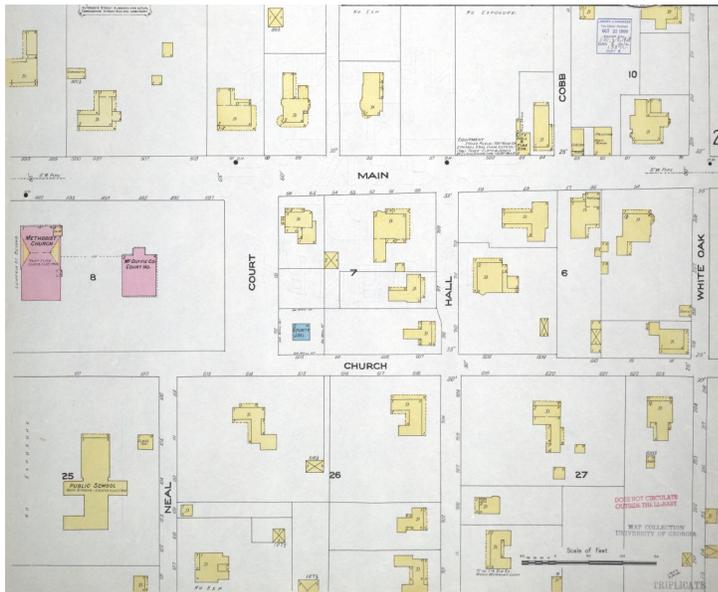


Philadelphia, Pennsylvania, the chief civil engineer and surveyor of the Georgia Railroad. On February 15, 1854, Thomson was incorporated in Columbia County and with the state of Georgia. In 1870, the Georgia General Assembly created McDuffie County from parts of Columbia and Warren Counties, and Thomson, near the center of the new county and located on an important rail route, was named the new county seat. The town was incorporated as the City of Thomson in 1920.



First Baptist Church. No date. Florida Baptist History

As a transportation hub for the surrounding rural area, many types of businesses developed in Thomson. Banks, warehouses, blacksmiths, restaurants, hotels, various retail establishments, publishing houses, and eventually utility companies were all located within Thomson’s downtown. In 1879, John E. Gross built the first warehouse in McDuffie County on the lot adjoining the cotton gin he owned on Railroad Street. Warehouses built in the following years were primarily for agricultural products. Agriculture was the main economic driver in McDuffie County from Thomson’s founding in 1854 through the 1930s. The City was also the natural gathering location for religious and educational institutions with several churches and schools located in town.



1908 Sanborn Map, Digital Library of Georgia

In 1886, a fire that started on Railroad Street destroyed approximately seven wooden buildings, all of which were quickly rebuilt. In 1888, another fire burned approximately fifteen wooden buildings on the west side of Main Street. To prevent future fires, a city ordinance was passed dictating that commercial buildings and warehouses must be built out of brick, leading to the downtown area’s current character, although there was another fire in 1910. Most commercial buildings surviving today are one or two block masonry buildings running along Main Street or in the immediate vicinity. Styles include Beaux Arts, Greek Revival, and Italianate from the late nineteenth and early twentieth centuries.



The oldest home in the district is the Ustry House (211 Milledge Street) which dates to 1830. Originally a frontier cabin, the home evolved into a Plantation Plain house and then to a large late Greek Revival mansion. The older homes in the district date from the mid to late twentieth century and were owned by wealthy merchants. These homes are predominantly located in the central part of town along the streets of White Oak, Main, Gordon, Milledge, Tom Watson Way, East and West Hall, Jackson, and Lee Streets. There are a variety of architectural styles represented including Italianate, Folk Victorian, Queen Anne, Craftsman, Mediterranean Revival, and even International Style.



Ustry House, National Register of Historic Places, 1973

Like many areas in Georgia, the lumber industry was an important part of Thomson's economy in the early twentieth century. Saw mills had operated in McDuffie County since the 1870s, but the industry saw the same boom in the early twentieth century that it saw in other parts of the state. In 1923, Peter S. Knox established the Knox Lumber Company. The Knox Lumber Company is notable as one of the first large industries in Thomson proper. In 1925, the company began trucking lumber from the planing mill and saw mill in the county to a central plant in the City of Thomson. By 1940, the Knox Lumber Company directly employed over 165 men, making it one of the largest employers in the county.

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KNOX HOMES HOUSING SHOW
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Wednesday, May 28

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Watch the special Knox Corporation crews completely erect three modern attractive Knox Homes expertly and quickly—right before your eyes.

Don't Miss
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 for the
WINNING WAR VETERAN AND HIS WIFE
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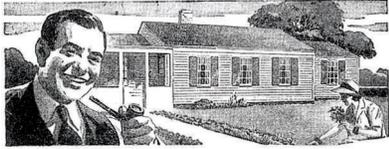
IF TIRED AND THIRSTY STOP BY 2065 TELFAIR STREET FOR FREE SOFT DRINKS AND ICE WATER

KNOX CORPORATION

Knox Homes advertisement. The Augusta Chronicle, May 28, 1947.

While the Knox Lumber Company started as a wholesale business, it developed into a retail enterprise by 1928, initially for lumber. In 1932, two of Peter S. Knox's sons, Wyck A. and Peter S. Jr., formed the Knox Brothers Lumber Company which was a builders supply business. At the beginning of World War II, Peter S. Knox, Jr. recognized the increased demand for housing around Fort Gordon, near Augusta, due to the enormous influx of recruits being trained. Knox formed the King Development Company, which took pre-cut pieces from the factory in Thomson and quickly assembled them near the military post. This business grew into one of McDuffie County's largest employers, with employees cutting and processing lumber, laying the brick foundations of the homes, and completing the finish carpentry. They specialized in these pre-manufactured homes, creating as many as 40 a day.





**Here's What KNOX Is Doing
 About the Housing Shortage
 You Too Can Own A Knox Home!**

KNOX has thrown the experience and knowledge gained in over 50 years of home construction behind the building of the sensational new KNOX HOME.

For the plant-assembled, precision-built KNOX HOME was designed by one of the nation's leading firms of architects, to fit the requirements of families in the low and middle-income brackets.

KNOX HOMES which can be erected by competent builders in 30 days, are offered in 4, 5 or 6 room sizes with several variations in exterior appearance and many types of finishes. Your KNOX Home is well-constructed, handsome, lasting, a home to be proud of. And your KNOX HOME construction is FHA approved!

If you cannot locate an authorized KNOX HOME dealer in your community, write us direct, and we will give you the name and address of the Knox Home dealer nearest you.



Knox Homes advertisement. The Thomasville Times-Enterprise, November 4, 1947.

Commercial development also continued south of the railroad tracks during the mid-twentieth century. Many of the buildings in this part of the district show the growing importance of automobile travel, including the Knox Terrace Motel (1955). This typical roadside motel included plenty of parking immediately in front of the one-story guest rooms, a restaurant to serve hungry travelers, and a location on the highway. The new post office was also built in this part of the district in 1970, again with plentiful parking and easy access to the local businesses serving both Thomson and the surrounding rural area. Businesses surrounding the

The Hickory Hills Subdivision, in the northwest portion of the district, was first platted in 1948. It is dominated by post WWII pre-manufactured housing, consisting primarily of the American Small House and ranch types. Many of the American Small House types were manufactured by the Knox Company and are known as “Knox boxes.” These affordable homes were priced at less than \$10,000. Ranch houses, also prominent in the area, represent Contemporary, Colonial Revival, and Plain-Style architectural styles. The southern and western portions of the district are characterized by vernacular and Ranch single family residences dating from the 1940s to the 1960s.

Although the railroad began to lose its place as the primary form of transportation in rural Georgia in the 1920s, the Thomson Commercial Historic District continued to thrive due to the intersection of US Highways 78 and 17. These highways cross less than a quarter mile south of the railroad, ensuring continued traffic to downtown Thomson. In particular, development spread from immediately north of the railroad tracks on Main Street both north and south. At the edge of the oldest section of the downtown on Main Street, the Belk Department Store, constructed in 1940, featured a sleek modern design in the Art Deco style. The store also had plentiful automobile parking nearby to retain customers who now wanted convenient parking when they went shopping.



Railroad Street. Circa 1940.





Bank of Thomson advertisement. The McDuffie Progress, March 24, 1966.



Shelton Enco Service Station/Farr Garage, 2023.

Shopping Center. The Martin Theater (1950) applied Modern geometric block shapes on the parapet that intersect and partially obscure the early-twentieth century style brickwork on the adjacent two-part commercial building. These alterations projected a contemporary feel for the historic area, but many businesses still struggled to compete with businesses at the fringes of the district that had more plentiful parking.

railroad tracks also worked to stay relevant during the 1950s and 1960s. The former Price Theater along Journal Street was heavily modified in 1956 with a Modern style facade on the rear entrance, turned primary entrance, matching the red stacked brick, stone veneer, aluminum letter sign, and asymmetrical form of the surrounding Knox

In 1970, Interstate 20 officially opened north of downtown Thomson in McDuffie County. The intersecting highways just south of downtown were no longer the most efficient way to travel through this part of Georgia. As more drivers chose to travel along the interstate, commercial development in McDuffie County moved closer to the Interstate exits to tap into that customer base. Additionally, the Interstate made travel to Augusta much more convenient for Thomson residents, drawing even more business away from downtown Thomson. Like many small towns in Georgia, downtown Thomson saw limited investment after 1970, with the last contributing structure in the National Register Thomson Commercial Historic District being built in 1973.

The Thomson Commercial Historic District was listed in the National Register of Historic Places in 1989, and it included sixty-five contributing buildings and one contributing object. As of 2024, the Thomson Commercial Historic District is undergoing an update, which proposes 39 contributing buildings and one contributing object, with the majority of the decrease attributed to buildings that have been demolished since 1989. There are also four residences individually listed on the National Register of Historic Places: Hickory Hill (1979), McNeill House (1992), Usry House (1974), and Thomas E. Watson House (1976).



Properties Individually Listed on the National Register of Historic Places





8 Character-Defining Features

The creation of design guidelines is rooted in an understanding of the character-defining features that make up each historic building within a district as well as the character-defining features of the district itself. These are typically the elements that your eyes are drawn to first and are considered a building's dominant features. Together, these individual elements make up a larger whole which conveys a building's significance. Like a building, a district has character-defining features which together make up the district's overall setting, context, and sense of place. It is the goal of the Thomson Design Guidelines to retain and preserve the character-defining features of the District and its individual historic resources and ensure that new construction and alterations to existing buildings are executed in a way that is harmonious with the District's historic context.

The District has multiple styles of architecture, several examples are provided. Additionally, the Hickory Hills Subdivision and Downtown Core Character Areas have their own, separate character-defining features. Descriptions and examples have been provided for residential and commercial buildings in the overall historic district, as well as within the Hickory Hills and Downtown Core Character Areas.



Residential Buildings

The character-defining features of the contributing residential buildings in the Thomson Historic District reflect the variety of architectural styles typical in many small towns throughout the southeast. Thomson has examples of Italianate, Folk Victorian, Queen Anne, Craftsman, Mediterranean Revival, and even International Style.

Setbacks

The setback of residential buildings is generally consistent among contributing buildings. Smaller buildings tend to be set closer to the street while the larger homes are generally set further back. Homes have modest front yards and generous backyards. Parking is generally located in the side or rear yards and accessed from the side yard. Curb cuts are minimal.

Stories

The district features one and two story residences.

Foundation Materials and Configuration

Contributing homes feature raised foundations, either continuous or with piers, constructed of brick or stucco. The space between piers is frequently infilled with brick, block, stucco or trellis.



Brick piers infilled with brick in a lattice pattern

Wall Materials

Walls are constructed of wood siding, wood shingles, brick, and occasionally stucco.

Windows

Windows are typically wood, double hung, and taller than they are wide (except accent windows). Many homes feature multiple panes on the top sash over a single pane in the bottom sash. Shutters, when present, are wood, sized to fit the openings, and operable.

Doors

Doors are often paneled wood and frequently feature transoms and sidelights.



1921 Sanborn Map



8/1 double-hung wood windows



Building ornamentation typical of Folk Victorian and Queen Anne style homes

Porches

Most contributing residences feature full or partial front porches. When absent, many residences feature front stoops. Many Victorian and some Craftsman-era homes feature wrap-around porches.

Ornamentation

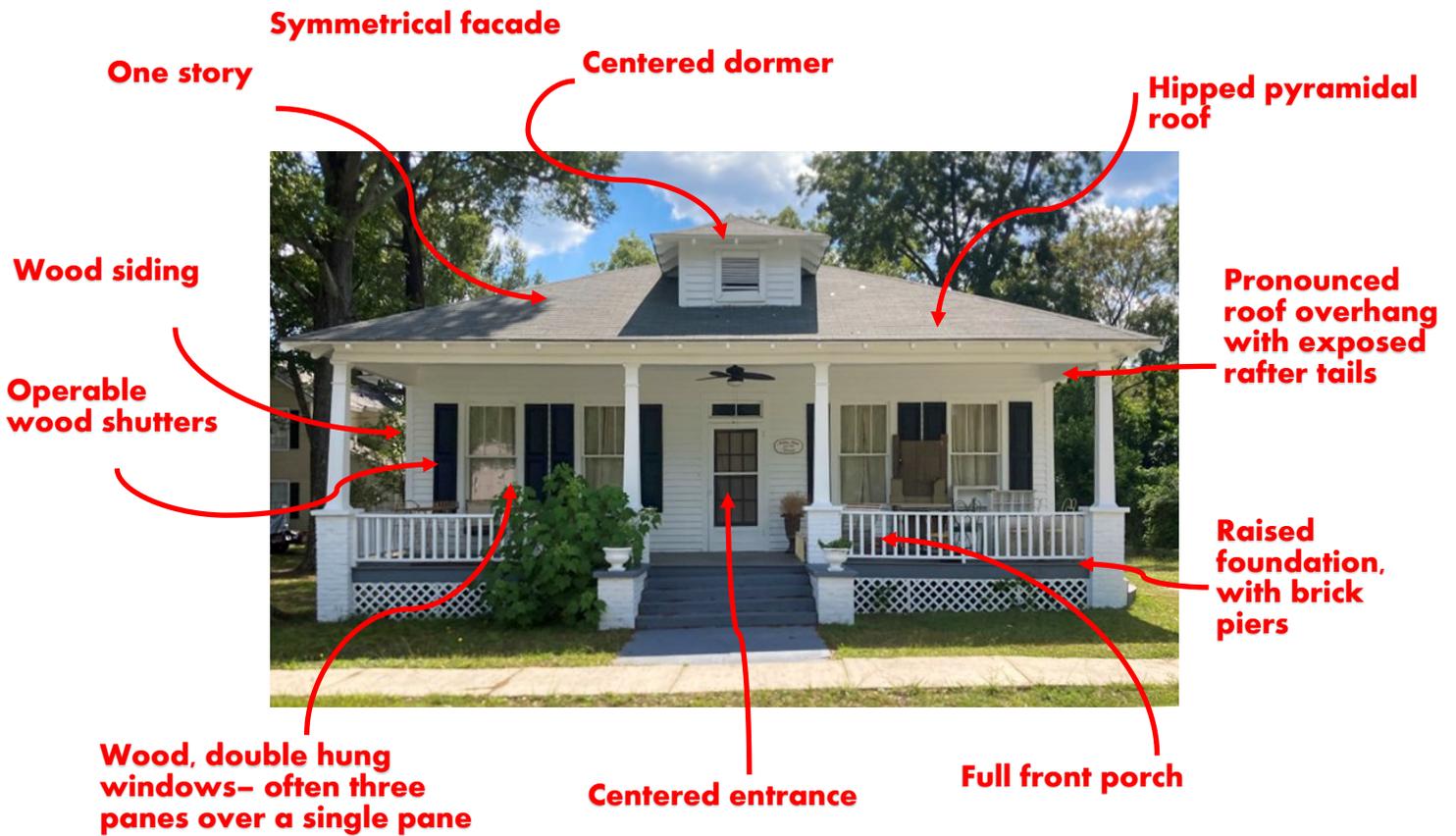
Buildings often feature moderate to elaborate ornamentation, depending on building style, including corbels, decorative columns, decorative balustrade, brackets, and spindle work.

Roof Materials, Shape, Configuration

Roof materials consist of standing seam metal, asphalt shingles, and occasionally terracotta tiles.

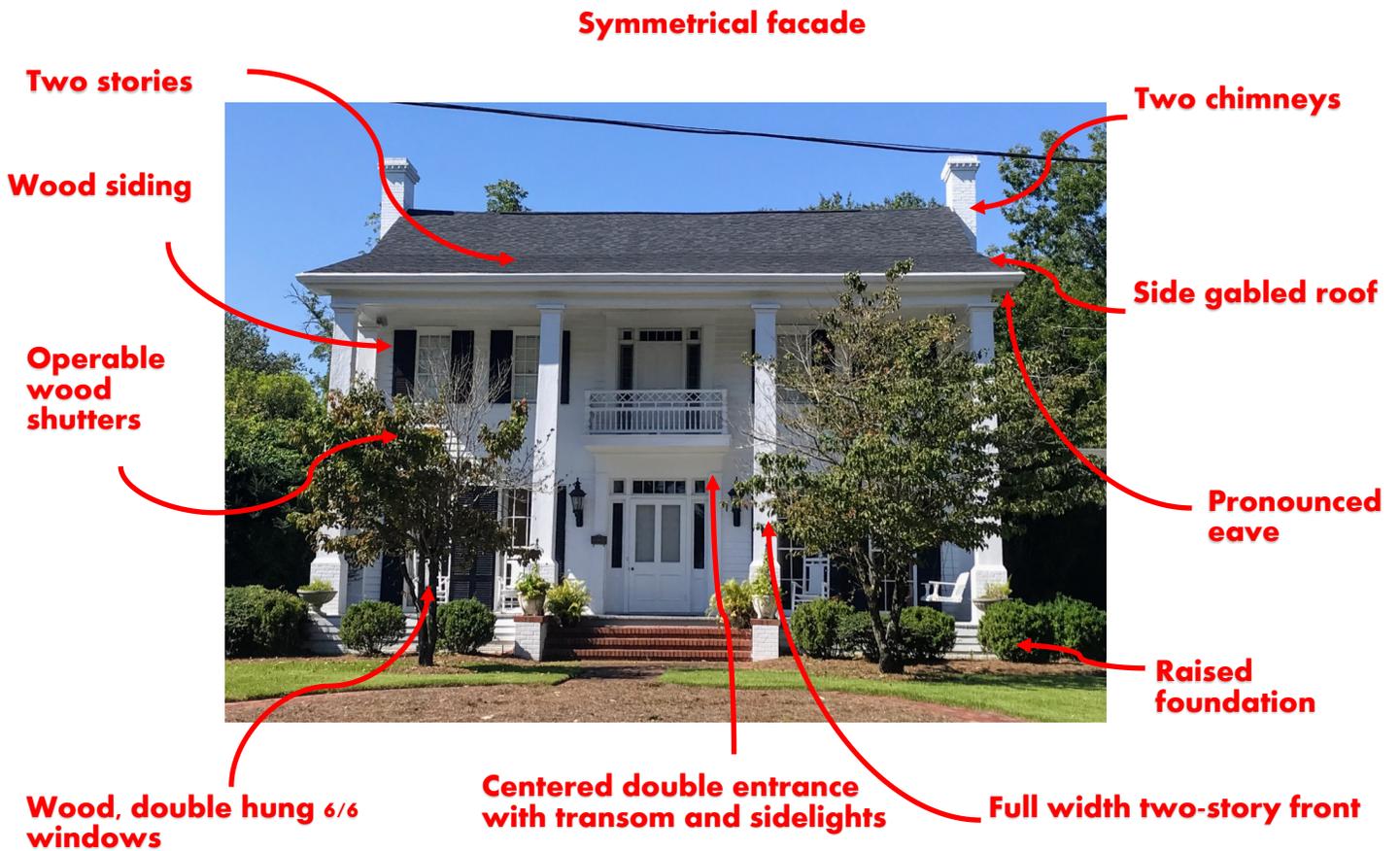
There are a variety of roof shapes in the district, dependent largely on architectural style. Folk Victorian and Queen Anne style homes typically have steeper pitches and irregular roof forms. Craftsman, Mediterranean Revival, and Italianate styles typically feature moderately pitched, side or front gables, and hipped roof forms. These buildings often feature pronounced overhangs with corbels. International Style houses typically feature a flat roof with parapet. Centered single dormers are also a common feature. Brick chimneys are also a common feature.

Residential Buildings



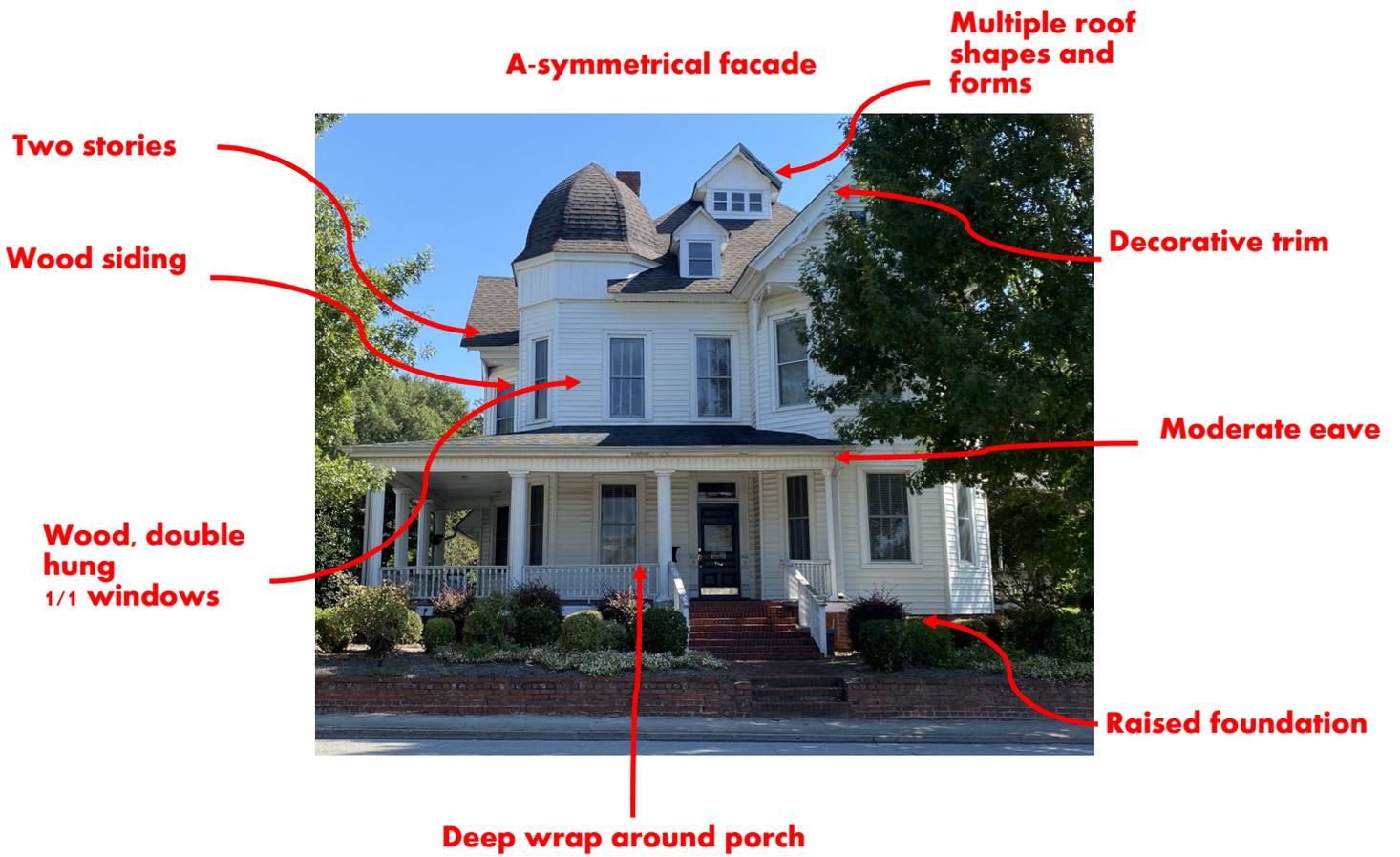
Character-defining features of 205 West Hall Street

Residential Buildings



Character-defining features of 223 Lee Street

Residential Buildings



Character-defining features of 244 Jackson Street

Hickory Hills Subdivision Character Area

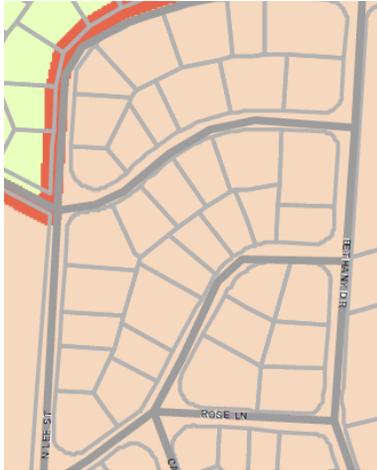
The character-defining features of the Hickory Hills Subdivision are more limited, reflecting the tighter period of historic significance (1949–1969) and more limited building styles. The American Small House and Ranch Houses are the dominant building type. The area is more suburban in overall character.



Typical example of an American Small House



Typical example of a Ranch House



Map showing the curvilinear nature of the streets and larger lot sizes

Street Character

The streets of the Hickory Hills Subdivision are curvilinear and feature relatively large lots.

Setbacks

Buildings have consistent and generous setbacks. Parking is often accommodated in the front and side yards.

Stories

Buildings are limited to one-story in height with an occasional two-story.

Footprint

Footprints are modest. American Small Houses are compact in their building form and tend to be more square in shape than Ranch Houses. Ranch Houses are more horizontal in form and often have garages or carports incorporated into the primary façade. Duplexes are also found in the area.

Foundation Materials and Configuration

Both slab on grade and raised foundations are common. Raised foundations are typically continuous and consist of brick, stucco, or concrete block.

Wall Materials

Buildings feature brick, vinyl and aluminum siding, wood siding, and asbestos shingles.

Doors

Doors tend to be simple and consist of wood or steel.

Windows

Windows are typically double hung, single hung, or casement. They are often paired or in triples, and are usually taller than they are wide. They consist of wood, aluminum or vinyl. Window trim tends to be minimal. Applied shutters are common.

Porches

Modest stoops are much more common than porches.

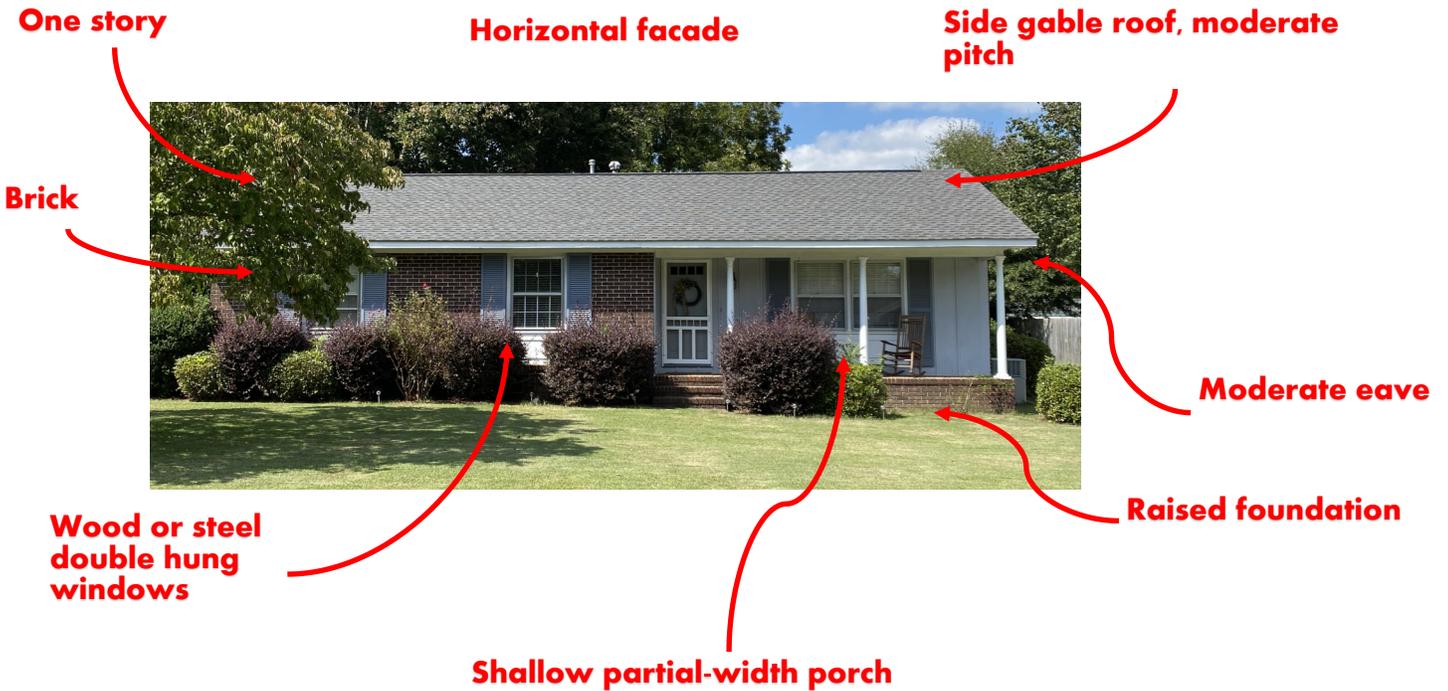
Ornamentation

Ornamentation is minimal.

Roof Materials, Shape, and Configuration

Roof materials consist of architectural or three-tab asphalt shingles. Front, side and cross gable are common configurations. Hipped roofs are also common. American Small Houses tend to have very shallow eaves, while Ranch Houses have moderate eaves.

Hickory Hills Subdivision Character Area Ranch House



*Character-defining features of 316 Magnolia Drive—
Hickory Hills Subdivision Character Area*

Hickory Hills Subdivision Character Area American Small House



Character-defining features of 310 Camellia Drive— Hickory Hills Subdivision Character Area

Commercial Buildings

The character-defining features of the contributing commercial buildings in the Thomson Historic District reflect the variety of architectural styles typical in many small towns throughout the southeast, though most of the commercial buildings are vernacular in nature.

Setbacks

Contributing commercial buildings in the Thomson Historic District feature little to no front yard setback.

Stories

Stories are generally limited to one and two stories.



Typical commercial building

Foundation Materials and Configuration

Contributing buildings are typically constructed on at-grade, slab foundations. Raised foundations are generally utilized to account for elevation changes, in which case the foundation material is the same as the wall material.

Wall Materials

Walls of contributing buildings are typically constructed of brick or stucco. Wood and masonry decorative details are also common features.

Windows

Windows are common features on the upper stories of commercial buildings. Windows are typically double hung, wood, single pane, with minimal light divisions.

Doors

Doors tend to be incorporated into the storefront entrance, though access to the upper floors is often through a wood door to the side of the building.

Storefronts

The storefront is probably the most character-defining feature on contributing commercial buildings. It typically consists of several display windows in a wood or metal frame, set above a bulkhead and below a glass transom, and an entranceway to the store on the first floor. Signage, canopies, and/or awnings were often historically incorporated into the storefront.

Commercial Buildings Box-Type Service Station

Porcelain Enamel Steel Exterior

Drive-thru Awning



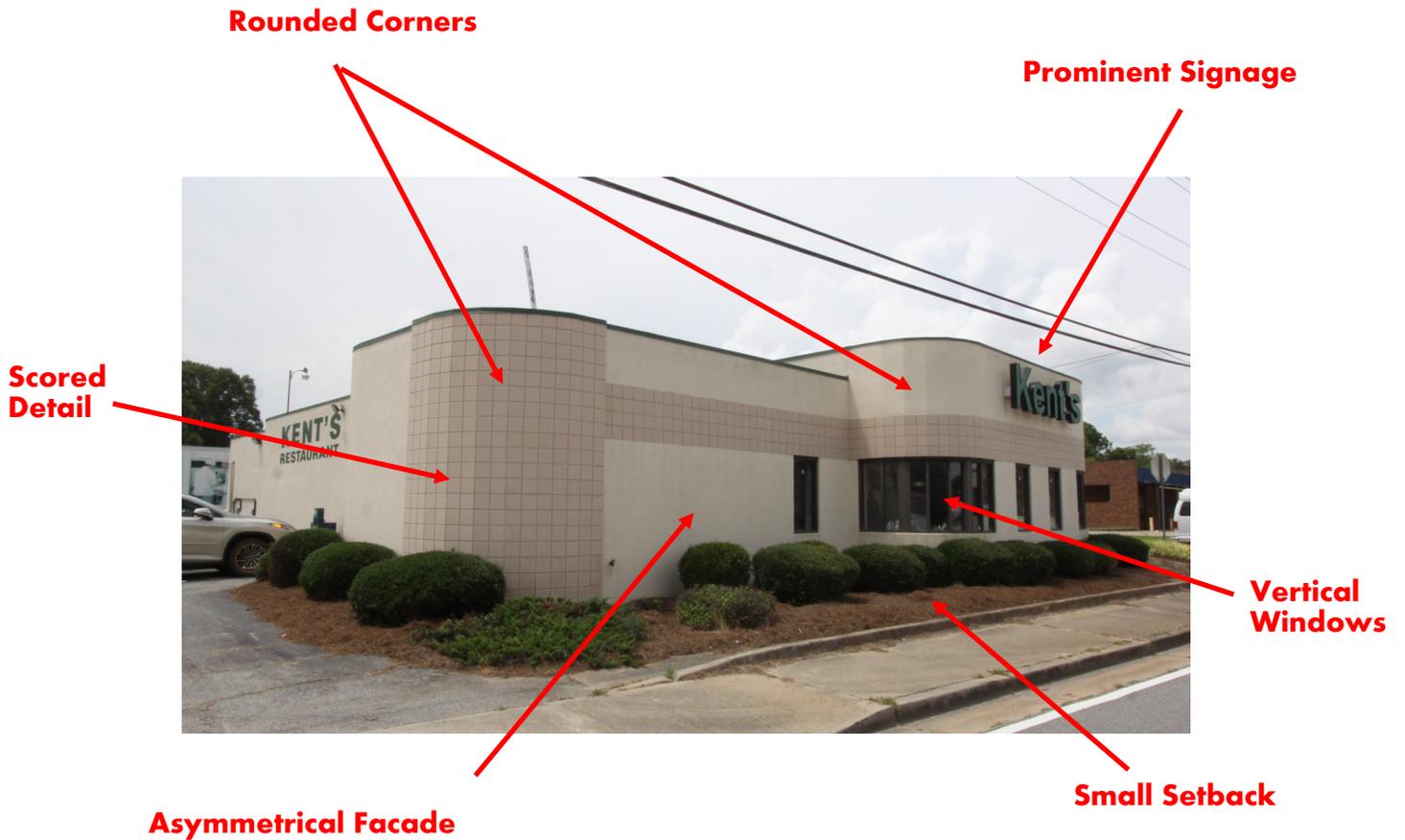
Deep Setback

Large Garage Door Openings

Large Plate Glass Windows

Character-defining features of 111 Jackson Street

Commercial Buildings Streamline Moderne



Character-defining features of 529-539 East Hill Street

Commercial Buildings Downtown Core Character Area

The character-defining features of the contributing commercial buildings in the Downtown Core Character Area reflect the variety of architectural styles typical in many small towns throughout the southeast.

Setbacks

Because the period of significance is quite long for the Downtown Core Character Area (1854-1973), the setbacks vary greatly. Older buildings tend to have little to no front setback, while later buildings may feature expansive front setbacks, often accommodating parking areas. In older buildings, parking may be accommodated in the side or rear yard, or simply not provided.

Stories

Stories are generally limited to one and two stories, though three story buildings exist.

Foundation Materials and Configuration

Contributing buildings are typically constructed on at-grade, slab foundations. Raised foundations are generally utilized to account for elevation changes, in which case the foundation material is the same as the wall material.

Wall Materials

Walls of contributing buildings are typically constructed of brick or stucco. Wood and masonry decorative details are also common features.

Windows

Windows are common features on the upper stories of commercial buildings. In one story buildings, windows are typically found on the ground floor. Because of the long period of significance in the Downtown Commercial Core, a variety of window types and materials are found, depending on the age of the building. In older buildings, windows are typically double hung, wood, single pane, with minimal light divisions. In newer buildings, steel, vinyl, and aluminum windows in single hung, double hung, fixed and casement configurations are common.

Doors

Doors tend to be incorporated into the storefront entrance, though access to the upper floors is often through a wood door to the side of the building. Common materials include wood and steel.

Storefronts

The storefront is probably the most character-defining feature on a contributing commercial building. It typically consists of several display windows in a wood or metal frame, set above a bulkhead and below a glass transom, and an entranceway to the store on the first floor. Signage, canopies, and/or awnings were often historically incorporated into the storefront. In newer buildings, storefronts may consist of plate glass windows with minimal detailing.

Commercial Buildings Downtown Core Character Area Art Deco



Character-defining features of 150 Main Street

Institutional Buildings

The character-defining features of the contributing institutional buildings in the Thomson Historic District reflect the variety of architectural styles typical in many small towns throughout the southeast. Institutional buildings often appear less vernacular, and more high-style in terms of architectural detailing.

Setbacks

Setbacks vary, but often institutional buildings are free-standing and set apart from other buildings.

Stories

Stories are generally limited to one and two stories.

Foundation Materials and Configuration

Contributing buildings are typically constructed on at-grade, slab foundations in the Downtown Core Character Area. If a raised foundation is utilized to account for elevation changes, the foundation material is the same as the wall material. Beyond the Downtown Core Character Area, contributing buildings are often on raised foundations.

Wall Materials

Walls of contributing buildings are typically constructed of brick or stone. Wood and masonry decorative details are also common features.

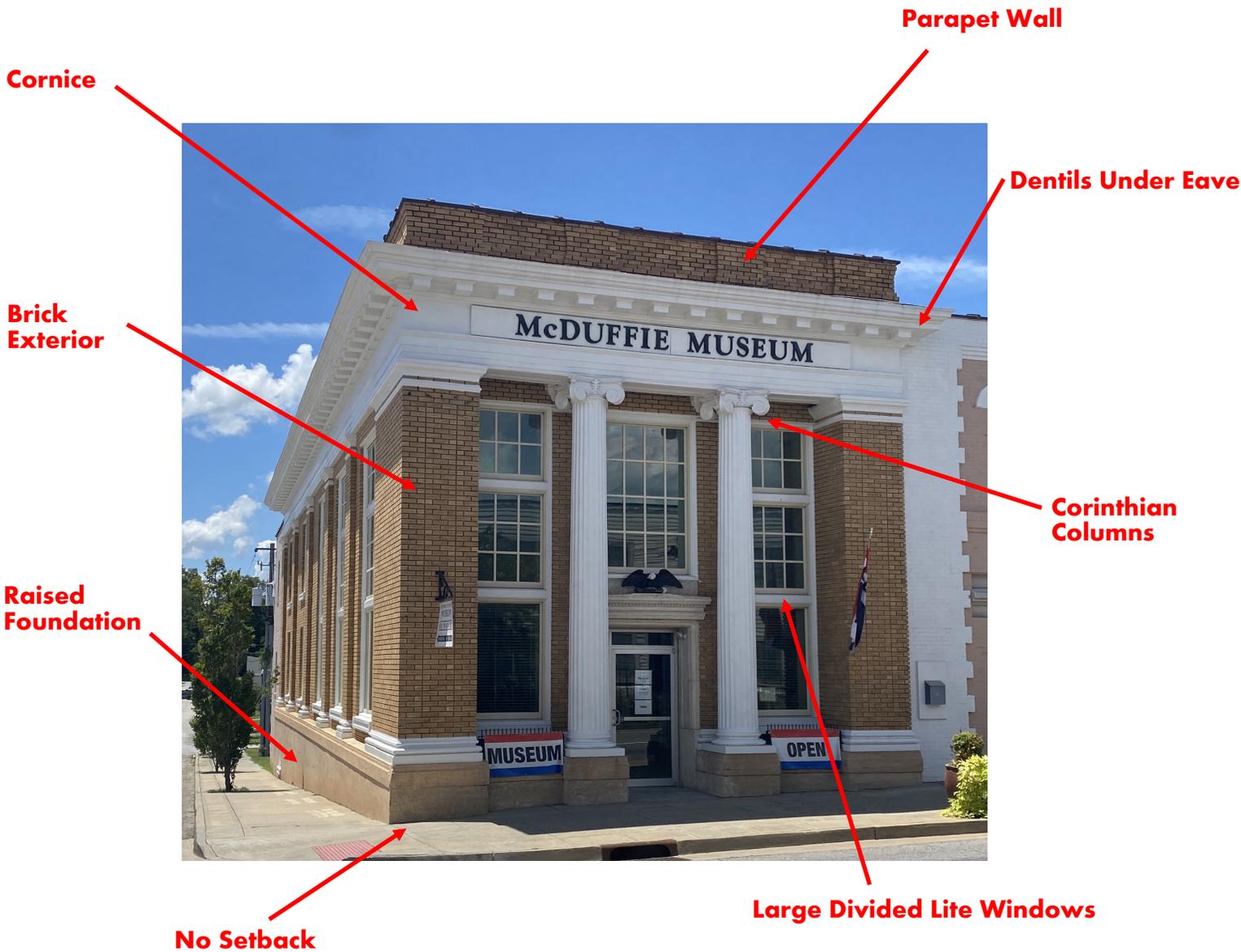
Windows

Windows are typically double hung, wood, single pane, with light divisions.

Doors

Doors tend to be central and prominent, often emphasized by transoms and sidelights,

Institutional Buildings Greek Revival



Character-defining features of 121 Main Street



9 Guidelines for the Treatment of Historic Features

Given the importance of individual features in defining the overall character of a building, it is necessary to give appropriate consideration to how a proposed change, even if seemingly minor, may affect the historic character of a building. With this in mind, maintenance and rehabilitation projects should not be viewed as isolated actions but rather as a series of related activities that over time affect the perception of the historic places that define the community. By adhering to a set of universal preservation principles rooted in best practices, projects can be guided to respect and maintain the unique character of the Thomson Historic District. This is best illustrated in the Secretary of the Interior's Standards for the Treatment of Historic Properties which were established in 1966 as part of the National Historic Preservation Act. The ten standards associated with Rehabilitation are incorporated into the Thomson Historic District Ordinance and can be found in their entirety in Chapter 13A. These standards are the backbone of this chapter and all historic preservation review. Additionally, the National Park Service has published a number of "Preservation Briefs" which illustrate and explain the appropriate treatment for historic buildings in detail, covering everything from the repair of historic windows to incorporating ADA standards into historic buildings. A list of these Preservation Briefs can also be found in Chapter 13B.

The following guidelines apply to alterations of all contributing buildings within the district, whether residential, commercial or institutional. When differing standards apply to building types of differing uses, the distinct and applicable standard will be called out. For the purposes of this section, standards which uniquely apply to residential buildings shall also apply to buildings which were historically residential but have been converted to commercial or other uses. Because of their unique periods of significance and architectural styles, the Hickory Hills Subdivision Character Area and Downtown Core Character Area sometimes have differing design guidelines. These guidelines will be called out in a purple or beige box.

Foundations

Historic foundation materials and design should be preserved, maintained, and restored whenever applicable. Preservation of foundation materials means that care is taken to ensure continued stability and maintenance. A regular inspection should ensure that:

- Piers are structurally sound,
- Mortar joints are not brittle or crumbling,
- Piers are absent from invasive vegetation,
- Foundation is dry and free from moisture intrusion.

Rising damp resulting from pooling rainwater in low lying areas can lead to the wicking of moisture away from the earth through porous materials such as brick, wood, or even cracked concrete. When examining foundation problems, a building's site and setting should be examined and addressed.



Unpainted historic masonry should not be sealed, painted, or stuccoed. Painting or sealing masonry that was historically unpainted and unsealed is considered an insensitive alteration. Further, in some instances, paint and masonry sealants can hinder the ability of historic masonry to breathe, preventing the natural movement of moisture through the masonry. Stucco spread over masonry creates a new appearance altogether and should not be performed.

The re-pointing of historic lime mortar should utilize mortar of a similar color, texture, profile, and composition as the original. The re-pointing of historic brickwork with mortars that contain a high percentage of Portland cement should not be employed.

With the evolution of construction techniques, brick masonry and mortar compositions have changed over time. Historically, bricks and mortar were softer and more porous. Care should be taken to ensure that any alteration or rehabilitation of historic brick foundations involve:

- Repointing using lime mortar such as Type K, Type O, or Type L. Lime mortars are usually composed of two parts sand to one-part lime. Harder modern mortars with high contents of Portland cement will resist the warm weather expansion of brick, causing cracking and spalling, and should never be used.
- Mortar mixes should be tinted if necessary to match the color of the original mortar as closely as possible.
- Mortar joints should be thin and tooled match any original joints that remain.
- Parging, or the use of stucco or mortar to create a smooth surface over brick should be avoided.



Historic masonry that has been repointed with Portland cement which has led to degradation.

Hickory Hills Subdivision Character Area – Alternative Design Guidelines

A high percentage Portland cement mortar such as Type N is appropriate for repointing contributing buildings within the Hickory Hills Subdivision Character Area.

Downtown Core Character Area – Alternative Design Guidelines

A high percentage Portland cement mortar such as Type N is appropriate for repointing contributing buildings built after 1931 within the Downtown Core Character Area.

Building Walls

Exterior wall materials and design should be preserved, maintained, and restored. Original details such as gable end returns, cornice details, corner boards, engaged columns, and door and window trim should be retained, preserved, and restored. where possible.



An example of a residential building being damaged by invasive vegetation

The exterior should be free of invasive vegetation. Wood surfaces should be dry and painted, free of chipping paint to ensure no unfinished surfaces are exposed to moisture, weatherization, or termite infiltration. When deterioration is present, first identify and treat the cause and source. Often faulty flashing, leaking gutters, cracks and holes, deteriorated caulking at seams, plant material, and insect or fungus infestation can lead to deterioration.

If the replacement of building wall materials or features is necessary, only deteriorated materials should be replaced with materials in-kind to match the existing in material, design and finish.

While each material has a different threshold, “deteriorated beyond repair” generally means that more than 50% of a material feature is no longer in serviceable condition and repair is no longer feasible by patching, splicing, or otherwise reinforcing deteriorated materials.

Paint or other coatings, such as stucco, should not be permitted on unpainted or uncoated historic masonry, as it is considered an insensitive alteration. Further, in some instances, paint and masonry sealants can hinder the ability of historic masonry to breathe, preventing the natural movement of moisture through the masonry. Stucco spread over masonry creates a new appearance altogether and should be avoided.



An example of a painted brick foundation which may cause long term damage to the brick, as well as maintenance issues

Synthetic or imitation materials such as vinyl or aluminum siding, brick veneer, Exterior Insulation Finishing Systems (EIFS), or asphalt siding should not be utilized. These materials do not have the same visual and aesthetic appearance as historic materials. Additionally, they often have a shorter life-span and degrade at a quicker rate than historic materials. Often, synthetic materials that cover historic materials can trap moisture beneath, causing additional, unseen, long-term damage.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

Vinyl and aluminum siding may be appropriate materials in the Hickory Hills Subdivision Character Area.

Downtown Core Character Area– Alternative Design Guidelines

Vinyl and aluminum siding may be appropriate materials on contributing building constructed after 1945 in the Downtown Core Character Area, if used historically.

Windows and Doors



An example of historic windows

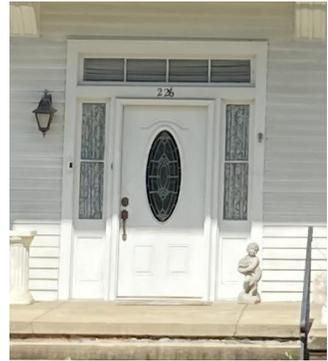
Original doors and windows visible from the public right-of-way should be preserved, maintained, and restored to include associated transoms, sidelights, moldings, trim, and other elements.

Doors and windows are integral, character-defining features of the historic buildings of Thomson, serving to break up facades, allow natural light and air to enter, and add visual interest. Original window and door openings should not be altered unless necessary to the continued use of the building. Preserving historic window and door components should be considered a priority as inappropriate changes can diminish the integrity of a building.

The original pattern, shape, and size of window openings should be maintained. Where alterations are necessary for security or functionality, the changes should be the minimum necessary.

Maintaining glazing putty and sealants to a good condition can minimize air and moisture penetration and improve energy efficiency. Further, adding weatherstripping can reduce infiltration by as much as 50%. Adding interior storm windows is another way to improve energy efficiency.

When replacement parts are necessary, elements should be replaced in-kind with features to match such as the duplication of profiles, massing, scale, and light patterns in design and material. Only the deteriorated section of a window should be repaired, removing as little historic material as possible. Wholesale replacement of entire window assemblies should be avoided when only isolated deterioration is present. If necessary, only clear glass should be used when repairing damaged units on the front facade. Tinted, reflective, opaque, or patterned glass should not be used unless it was historically present.



An example of a historic door with transoms and sidelights

If the original window or door material and/or configuration is unknown, or if a new window or door is proposed in an unoriginal opening, the new window or door material and configuration should be based on historic context.



The Usry House features very prominent symmetrical windows and doors which are character-defining features

Contributing buildings within the district share similar attributes. Additionally there are commonalities in elements and design employed within specific building styles. When historical, photographic, and/or physical evidence does not exist, other contributing buildings of the same style may be used as a reference in the rehabilitation a contributing building.

Shutters may be added to a building, provided there is historic evidence of such (physical or pictorial). Shutters



should be wood or solid PVC, sized to fit the opening and operable.

Porches, Stoops and Ramps

Historic porches and stoops should be preserved, maintained, and restored to include all character-defining features such as handrails, balustrades, columns, brackets, floors and ceilings, roofs, rafters, eaves, etc.

Most contributing residences within the Thomson Historic District incorporate a porch on the front facade. Providing shelter, decoration, and outdoor space for living and working, porches are character-defining features and should be preserved whenever possible.

Regular maintenance should include sweeping the porch decking. Removing dirt and leaves by sweeping is preferable to hosing the deck off with water so as not to saturate woodwork and promote decay. Vines and plants should be trimmed and not be allowed to grow onto or beneath porches. Plants and vines reduce ventilation, promote a moist environment for insects and decay, accelerate open wood joints, and impede cyclical maintenance.

Wood surfaces should be dry and painted and free of chipping paint to ensure no unfinished surfaces are exposed to the elements or moisture or termite infiltration.

Porch and stoop elements should be retained, rather than replaced. If replacement is necessary, elements should be replaced in-kind based on documented and physical evidence, if possible.

Porches often contain more detail than other portions of the building, including chamfered posts, balusters, and other elements. Loose railings and balustrades present unsafe conditions and should be repaired as soon as possible.

Historic porches generally have railings that measure 28 to 32 inches in height from the floor. When modifications are proposed for historic balustrades, concessions may be made to allow for the preservation of original, non-compliant railing heights, if historical, photographic, and/or physical evidence exists. When necessary for safety, a simple rail may be installed above the historic railing to allow for the retention of the historic baluster while maintaining minimal impact to the porch's appearance.

Historic front porches/stoops should not be enclosed with any material because it alters the spatial relationship of the porch/stoop and building, and results in a loss of integrity.



An example of a simple, unintrusive railing added above a historic railing to achieve code compliance

Hickory Hills Subdivision Character Area – Alternative Design Guidelines

Stoops are more common than porches in the Hickory Hills Subdivision Character Area.

Side and rear porches may be enclosed with screen, glazing, or shutters, provided the porches continue to read as a porch and historic materials (such as columns and balustrades) are maintained in place.

Fiberglass (including Perma-Cast), vinyl, and PVC should not be utilized.

New porches/stoops should not be added on primary facades (the facade of building that faces the street or possesses the most prominent architectural articulation), if one did not exist historically. Such changes alter the integrity of the building. New porches/stoops may be permitted on secondary and rear facades, which are generally considered less visible and therefore less impactful.



Examples of side and rear porches sensitively enclosed so that the porch reads as a porch and historic materials are retained

Ramps

Handicap accessible ramps or entryways should respect the character defining features, materials, and scale of the principal structure.

The incorporation of handicap accessible ramps can be a necessary addition to historic buildings and should be undertaken to provide welcoming access to those with disabilities in a manner that does not affect or obscure character-defining features and facades.



An example of a handicap ramp incorporated on the side façade of the historic building, allowing front door access, with minimal impact on historic features

Ramps should be located on the side or rear of historic buildings whenever possible to minimize any negative impact on the primary façade. Ramps should be anchored to the ground instead of the building to reduce damage to historic materials.

Ramps should incorporate design elements from the primary facade, such as similar materials, railing configuration, and column or post design. Fiberglass (including Perma-Cast), vinyl, and PVC should not be utilized. While these materials often look similar from a distance, upon closer inspection they fail to resemble the aesthetic

characteristics of historic materials. Synthetic materials age differently than their genuine counterparts and therefore tend to be much more noticeable in five to ten years, once some weathering has occurred.

Storefronts

Original storefronts should be repaired rather than replaced, provided, however, if the degree of degradation does not allow repair, the degradation should be photographically documented and verified by the HPC, and





An example of an historic storefront

the new storefront should be of the same materials and configuration as the original.

If the original storefront material and/or configuration is unknown, the new storefront material and configuration should be based on historic context.

Exterior burglar bars, fixed or roll-down security devices or similar security devices should not be utilized.

Storefront glazing should be transparent; provided, however, opaque glass may be used in the storefront window transoms.

Awnings

Awnings should provide cover for pedestrians and reinforce the rhythm of bays and primary entrances within facades. Awnings may be located above storefronts, doors, windows, and in between pilasters. Awnings should reflect the shape of the architectural element they are covering. For example, a rounded awning should not be utilized over a square window. Similarly, a square awning should not be utilized over a rounded window.

Awnings should be constructed of canvas, cloth or equivalent, metal (though not corrugated), or glass.

A minimum of eight (8) feet vertical height clearance should be maintained above the public right-of-way.

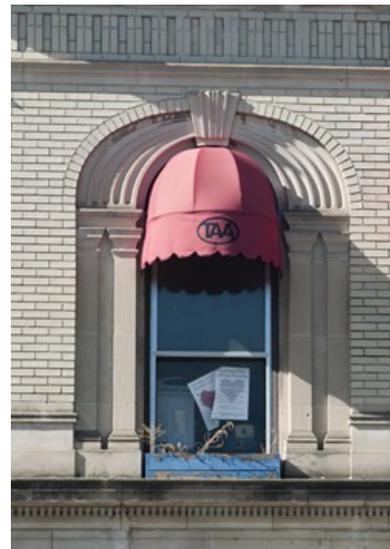
Awnings should be structurally and architecturally integrated into the façade and should not obscure character-defining features.

Back-lit (internally lit) awnings should not be utilized.

Awnings should not connect two (2) façades.

Signage

In addition to the provisions and standards in Article V, Section 22 Sign Standards in the Thomson Code of Ordinances, signs within the historic district should also comply with the following standards.



An example of an awning appropriately shaped to match the window opening

Signage that covers, conceals, or otherwise hinders the appreciation of a historic building's character-defining features should be considered incompatible and should not be used.

Signage should be carefully and sensitively located on historic buildings, to be reversible if possible. Signs should be located in traditional sign locations.

Roofs and Chimneys

Original chimneys and roof materials, shapes, and pitch should be preserved, maintained, and restored to include associated eaves, rafters, overhang, materials, and architectural decoration such as gable end returns, cupolas, and chimney corbels. The roof shape and associated architectural features are cumulatively important to the overall integrity of the building.

It is critically important to maintain the roof to keep it free from cracks and leaks. If a roof leak is left unrepaired, the damage to the remainder of the structure can be swift and severe. The roof should be free of invasive vegetation.

When necessary, historic roof materials should be replaced in-kind to match as closely as possible the texture, color, design, and composition of historic roof materials. Rotten or otherwise damaged roof materials should be replaced with materials to match the historic materials.

Skylights should not be visible from the right-of-way.

New dormers should be located on the side of historic buildings, rather than the front, and set back from the front façade to minimize visibility.

Gutters and downspouts can detract from the historic and aesthetic appearance of the roof and therefore should be minimally visible, and placed on a side or rear façade, whenever possible.

Additions to Contributing Buildings

New additions to contributing buildings should preserve the historic building's character, form, significant materials, and features. Additions should not impact historic character-defining features of the original



This drawing shows traditional locations for commercial signs.

building. Additions that cover or obscure character-defining features should be avoided.

Additions should be placed on rear or secondary elevations and be compatible in mass, size, scale, and design while remaining differentiated. Additions should be subordinate to the height and volume of the primary mass when visible from the street.

Additions should reference the roof shape, pitch, and complexity of the original building. Additions should be compatible with the character of the historic building but also distinct in that they stand as a product of their own time. Subtle changes in material and architectural details may be an appropriate means for distinguishing additions from the original building. Simplified details that reference the character of the original building are appropriate. Door and window openings that conform to the proportion, size, and rhythm of those on the original building should be used.

Additions should be constructed in a way that is reversible, so that the essential form and integrity of the historic building remains if the addition is removed. The addition should be attached to the historic building in such a way that it could be removed in the future with relative ease and the original configuration of the historic building restored. Additions should never be anchored, cantilevered, or otherwise dependent on a historic building for structural stability.

Whenever possible, an addition should be separated by a simple, recessed, small-scale hyphen, or connection, to physically and visually separate the addition from the historic building. Hyphens create a visual separation that can assist in the understanding and interpretation of what is historic and what is new. Hyphens allow for the preservation of interior floor plans through the creation of new spaces that are separate through a connecting element. Hyphens allow for greater opportunity for reversibility and minimal damage to the historic structure, should the addition later be removed.

Attached garage additions should have garage door openings to the side or rear of the building, not visible from the primary street elevation. Garage openings should not exceed 12 feet in width.

Rooftop additions, including rooftop decks, can have a significant impact on the overall appearance of a building and therefore should be minimally visible. Rooftop additions should be setback from the primary façade to prevent visibility from the public right-of-way.

Mechanical Equipment

All mechanical equipment, whether roof, wall, or ground mounted, should be located on the side or rear façade and screened from view from any public right-of-way.



An example of a successful addition connected to the historic building with a hyphen

Accessory Buildings

All accessory buildings should be designed to resemble the architectural features (including materials, details, roof shape, etc.) of the contributing building on the parcel or should be screened from public view.

Accessory buildings should be compatible but distinct from the contributing building.

Accessory buildings should be located to the side or rear of the contributing building.

Accessory building should be smaller in mass, scale and height than the contributing building so as to not compete.



An example of a successful accessory building compatible with the historic building.



An example of a successful accessory building compatible with the historic building.



10 Guidelines for New Construction and Alterations (including Additions) to Non-Contributing Buildings

New construction is not required to be a replica of historic architecture but should be compatible with the historic context. The following guidelines provide methods and techniques to allow for creative designs while ensuring compatibility with and respecting the character-defining features of historic architecture. New buildings with similar mass, height, form and materials may have a contemporary expression.

The following design guidelines apply to new construction, additions, alterations to non-contributing resources within the district. Though certain building materials are specified below, the Historic Preservation Commission may approve alternative materials upon a showing by the applicant that the material or product is visually compatible with historic building materials and has performed satisfactorily in the local climate. Because of their unique period of significance and architectural styles, in some cases, the Hickory Hills Subdivision and Downtown Core Character Areas will have differing design guidelines. These guidelines will be called out in a colored box.

The visual compatibility criteria give general guidance for evaluating new construction and alterations within the District. The Design Guidelines provide more specifics in terms of how to apply the Visual Compatibility Criteria.

For the purposes of the Design Guidelines, the “visually-related” context refers to the physical context of the site in question. Visually-related resources are those which can be physically seen by a person standing at the subject site.



Visual Compatibility Criteria

Height

The overall height and the height of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.



The images above illustrate both residential and commercial building heights and scales that are visually compatible with contributing buildings to which they are visually related.



The images above illustrate both residential and commercial building heights and scales that are visually incompatible with contributing buildings to which they are visually related.

Width

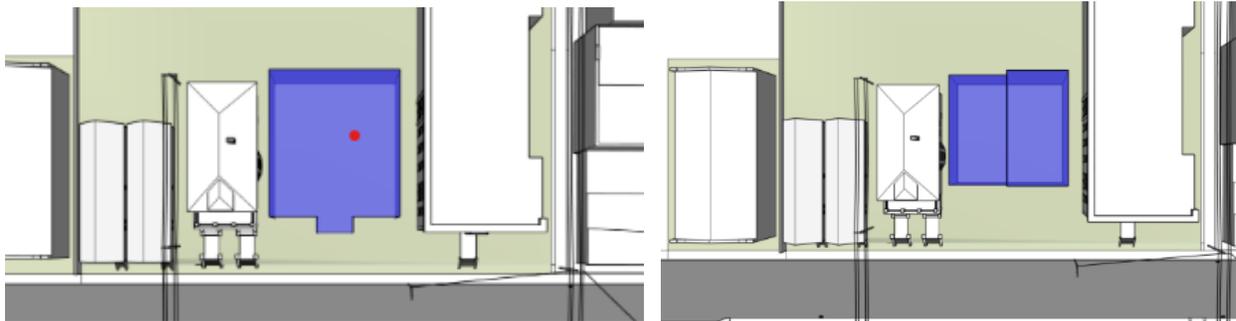
The proportion of the overall width and the width of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Scale

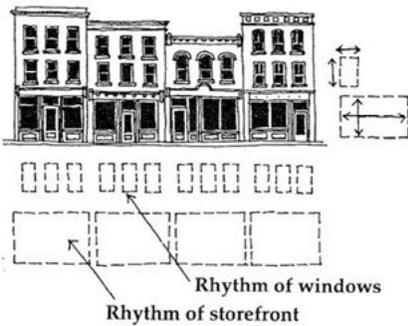
The overall scale and the scale of individual components of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Setbacks

The setbacks of the proposed building or structure should be visually compatible with setbacks of contributing buildings and structures to which it is visually related.



The illustration on the left shows a new building that is setback in a visually compatible manner. The illustration on the right shows a building with a setback that is visually incompatible.



Rhythm

The relationship of a building or structure to the open space between it and adjacent buildings or structures should be visually compatible with open spaces between contributing buildings or structures to which it is visually related.

Openings

The rhythm and solid-to-void ratio of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

The illustration above shows buildings in which the rhythm, openings and roof shapes are visually compatible.

Projections

Entrances, porches, and other projections of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Materials

The relationship of materials and textures of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.

Roof Shapes

The roof shape of the proposed building or structure should be visually compatible with contributing buildings and structures to which it is visually related.



Design Guidelines

Setbacks

The front, rear and side yard setbacks for the principal building shall be determined by the base zoning district.

Height and Mass

The height and mass should be subdivided both horizontally and vertically to convey human scale and visual interest that reflects the traditional size of buildings.

Buildings should not exceed two stories in height unless a taller contributing building exists within the same block.

Buildings should have a discernable base, middle and top.

Residential Floor to Floor Heights

The exterior expression of the height of the first story in a residential building should not be less than 11 feet and the height of the upper stories should not be less than 10 feet.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

There should be no minimum floor to floor heights in the Hickory Hills Subdivision Character Area.

Commercial Floor to Floor Heights

The exterior expression of the height of the first story in a commercial building should not be less than 13 feet and the height of the upper stories should not be less than 11 feet.

Downtown Core Character Area– Alternative Design Guidelines

Commercial floor to floor heights in the Downtown Core Character Area should be the average of those of contributing buildings within the same block face.



A typical foundation infilled with brick lattice.

Foundation

Foundations may be constructed of brick, stone or stucco over concrete block piers.

The space between piers may be filled with heavy gauge wood lattice with at least one-half (0.5) inch thick lattice boards, horizontal boards, brick, or stucco over concrete block. Infill material should be recessed a minimum of three (3) inches behind the front edge of the pier so that the piers are clearly

visible and differentiated.

Foundations should be the average height of foundations on contributing buildings on the block face. If no contributing buildings exist, residential buildings should be built up to a minimum of 30 inches and may consist of built-up slab on grade.

Beneath a wood frame building, the foundation should be recessed and not project forward of the building plane.

No minimum foundation height should be required for commercial buildings.

Hickory Hills Subdivision Character Area – Alternative Design Guidelines

There should be no minimum foundation height in the Hickory Hills Subdivision Character Area.

Exterior Walls

Commercial and institutional buildings should be designed with a visually distinct base, middle, and top through changes in details, materials, and texture.

The following materials may be permitted: brick, stone, wood, true stucco, and smooth fiber cement horizontal lap siding.

The following materials should not be permitted: Vinyl siding, aluminum siding, rolled asphalt, precast concrete panels, EIFS, T-111, corrugated metal, unpainted exposed CMU blocks, fiber cement panels, and metal panels.

Downtown Core Character Area – Alternative Design Guidelines

Vinyl and aluminum siding may be used in the Downtown Core Character Area.

Hickory Hills Subdivision – Alternative Design Guidelines

Vinyl and aluminum siding may be used in the Hickory Hills Subdivision Character Area.

Windows and Shutters

Window casings and sashes should be made of metal, wood or clad wood material.

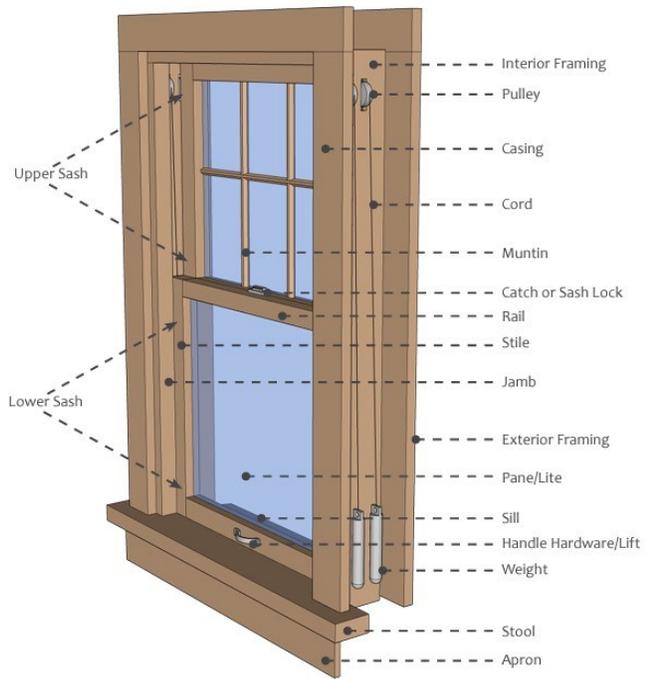
Window glass should be transparent with no dark tints or reflective effects (except for stained glass windows). This provision does not preclude the use of Low Emissivity or laminated glass.

Solid vinyl windows should not be utilized.

Windows should be taller than they are wide, except for accent windows, which may be round or other shapes.

Windows should be single-hung, double-hung, triple-hung, awning or casement, except for accent windows which may also be fixed or hopper. Residential casement windows should have light divisions.

Simulated divided light windows may be utilized provided that the muntin is 7/8 inches or less, the muntin profile shall simulate traditional putty glazing, the lower sash shall be wider than the meeting and top rails, and there shall be a spacer bar in between double panes of glass.



Elements of a window.

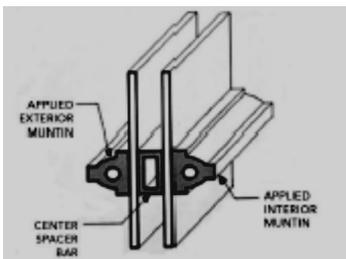


Illustration showing a spacer bar between the double panes of glass.

Between-the-glass, snap-in or applied muntins should not be utilized.

Framing members should be covered with appropriate trim; trim should feature a header, surrounds, and pronounced sill where appropriate.

Window sashes should be inset a minimum of three (3) inches from the façade on masonry buildings.

Bay windows should extend to the ground unless they are oriel, beveled or are supported by brackets.

All residential facades facing a street should incorporate transparent features (windows and doors) over a minimum of 30% of the ground floor façade.



Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, buildings may utilize solid vinyl windows, provided that they feature fusion welded corners with a fully welded head and sill and has a minimum DP rating of 40. Windows may be wider than they are tall. Windows may be fixed and casement windows do not require light divisions.

All commercial and institutional facades facing a street should incorporate transparent features (windows, doors, and/or storefronts) over a minimum of 50% of the ground floor façade.

Shutters

Exterior shutters should consist of a durable wood species or solid PVC.

Shutters should be sized to fit the window and operable (hinged and able to be closed over the window).

The placement of the horizontal rail(s) should correspond to the location of the meeting rail(s) of the window.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, shutters may be applied to the building and sized to the height of the opening, but not necessarily the width. Materials may include vinyl and aluminum.

Doors/Entrances

Doors should be of glass, wood, clad wood or steel without wood grain simulation.

Doors should not have a decorative diamond inset, half-moon inset, or other prefabricated ornamentation. Sliding glass doors should not be used on the primary façade.

Entrances should face the primary street on which the building is located (normally the street from which it takes its address).

Entrances on corner lots should be oriented in the same direction as entrances of adjacent buildings, toward the corner of the lot, or based on historic precedent.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, doors may also be vinyl and may have wood grain simulation. Entrances are not required to face the primary street.



An example of a wrap around porch with appropriate materials and detailing.

Porches, Stoops, Balconies and Decks

Front porches (a minimum of six feet in depth) or covered or uncovered stoops (a minimum of four feet in depth and six feet in width) should be incorporated on all entrances for new ground floor residential construction.

On porches and stoops, piers and base walls should be the same material as the foundation walls.

Porch elements may be constructed of brick, painted or stained wood, wood composite, precast stone, marble, sandstone or slate. Vinyl and PVC should not be used.

Wood portico posts should have a cap and base molding.

Balusters should be placed between the upper and lower rails, and the distances between balusters should not exceed four (4) inches on center. The height of the railing should not exceed 36 inches for single- and two-family dwelling units.

Front porches should not be enclosed.

Uncovered decks should be located at the rear of the building or screened from view from the public right-of-way.

Storefronts



Elements of a storefront.

Storefronts should be constructed of wood, cast iron, Carrera glass, aluminum steel or copper as part of a glazed storefront system.

Storefront bases should consist of wood, bronze, glazed brick or tile.

Exterior burglar bars, fixed or roll-down security devices or similar security devices should not be utilized.

Storefront glazing should be inset a minimum of four (4) inches from the face of the building.

Storefront glazing should extend from an 12-24 inch tall base of contrasting material or design.

Storefront glazing should be transparent; provided, however, opaque glass may be used in the storefront window transoms.

Awnings

Awnings provide cover for pedestrians and reinforce the rhythm of bays and primary entrances within facades.

Awnings should be constructed of canvas, cloth or equivalent, metal (though not corrugated), or glass.

A minimum of eight (8) feet vertical height clearance should be maintained above the public right-of-way.

Awnings should be structurally and architecturally integrated into the façade and



An example of an appropriate awning.

should not obscure character-defining features.

Back-lit (internally lit) awnings should not be utilized.

Awnings should not connect two (2) façades.

Signage

In addition to the provisions and standards in Article V, Section 22 Sign Standards in the Thomson Code of Ordinances, signs within the historic district should also comply with the following standards.

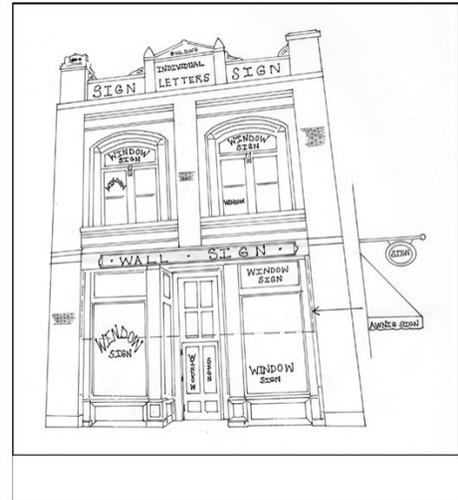
Signage that covers, conceals, or otherwise hinders the appreciation of significant architectural features of a building should not be used.

Roof

Roof coverings should be standing seam metal, v-crimp, architectural asphalt or similar shingles, or terracotta tile, or otherwise screened from view (such as with a parapet). Metal roofs should have a metal drip edge covering all edges and a maximum seam height of one inch.

On residential buildings, shed and porch roofs, subordinate and attached to the primary building, should be pitched between 2:12 and 6:12. Gable and hip roofs should be symmetrically pitched between 4:12 and 10:12. Eaves should extend no less than 12 inches beyond the supporting walls. Gable end rakes should overhang at least eight inches. Eaves and rakes on accessory buildings and dormers should overhang at least eight inches.

Skylights, and roof vents may be permitted if integrated into roof design. Pergolas and roof decks should not be located on the street façade.



This drawing shows traditional locations for commercial signs.

Hickory Hills Subdivision and Downtown Core Character Areas– Alternative Design Guidelines

In the Hickory Hills Subdivision and Downtown Core Character Areas, gable and hip roofs may be between 2:12 and 8:12. Eaves and gable end rakes are not required.

Applied mansard roofs should not be utilized.

Mechanical Equipment and Refuse

Electrical vaults, meter boxes, communications devices, through-the-window air conditioners, and satellite dishes should be located on the secondary or rear façades and should be minimally visible.

Roof mounted equipment and HVAC units should be screened from view from the street.

Refuse storage areas for dumpsters and compactors should be located within a building or to the side or rear of the building and screened from the public right-of-way.

Alternative energy source devices may be permitted provided they are integrated into the building design.

Accessory Structures (including garages, carports and accessory dwelling units)



An example of an appropriately sized and sited garage.

New accessory structures should be located in the rear yard.

The height and mass of the primary building should not be exceeded by any new accessory structure on the same parcel.

Accessory structures should not be more than two stories tall.

Attached garages should have garage door openings to the side or rear of the building, not visible from the primary street elevation. Garage openings should not exceed 12 feet in width.



An example of roof mounted equipment appropriately screened from the street.

Hickory Hills Subdivision Character Area– Alternative Design Guidelines

In the Hickory Hills Subdivision Character Area, garage openings may be visible from the primary street elevation and may exceed 12 feet in width.

Fuel Canopies

The entire canopy, including columns and roof, should be architecturally compatible with the design of the principal building.

The entire canopy, including columns and roof, should be constructed of building materials consistent with the principal building.

The spacing of columns along the frontage should no greater than 20 feet and placed at the edge of the canopy.



An example of a historic fuel canopy.





11 Guidelines for Site Elements

Parking and Paving

New construction should include a private sidewalk that connects the main entrance of the principal structure to the public sidewalk. Private sidewalks shall be constructed of brick, concrete, or stone.

Where possible, parking lots should be located in the middle of the block, screened by buildings on the street edges.

Parking areas should be located in the side yard behind the face of the front façade, or in the rear yard.

Where a parking lot extends over 30 feet in length along any street, a 36-inch high wall should be placed parallel to the building façade along the parking lot in order to screen vehicles. Shrubs that are anticipated to grow to a height of less than 36 inches should be planted between the wall and the adjacent sidewalk.



An example of a parking lot located in the middle of the block, screened by buildings.



An example of a screened parking area.

The use of pervious paving is encouraged.

Residential driveways should be no wider than 12 feet.

Curb cuts should be kept to the minimum number and width necessary and should not exceed 20 feet wide, unless required by the Traffic Engineer.

Wherever possible, vehicle and pedestrian drop-off areas should not be accommodated within the footprint of the building on the primary façade.

In commercial and institutional buildings, structured parking within the first story of a building should be set-back to allow an active use along the ground floor of the street frontage. There should be no exterior evidence at the ground level to indicate that the parking structure is used for parking, except for ingress and egress.

Fencing and Walls



An example of a picketed wood fence in a front yard.

Fences may be constructed of stained or painted wood, iron, brick, stucco over concrete block, or extruded aluminum. Chain-link, vinyl, PVC, and corrugated metal should be avoided.

Within the front yard, fences or walls should be limited to 36 inches in height and should have a picket design, with visible spacing between the pickets. Within the side or rear yards, behind of the front façade of the building, fences or walls should be limited to eight feet in height and may be solid or picketed.



12 Guidelines for Demolition, Relocation and Neglect

The City of Thomson's Zoning Code Section 2-145 provides standards for demolition and relocation. Section 2-146 of the code provides standards for neglect. The standards from the ordinance are italicized below and additional guidelines for implementation are provided following each.

Demolition of Contributing Buildings

Demolition of a contributing building is detrimental to the historic character of the Thomson Historic District. Every effort should be made to avoid demolition. There are only two circumstances in which demolition of a contributing building should be approved. The first is if the Zoning Administrator determines that there is a real and immediate threat to public health or safety, as supported by a report from a licensed structural engineer. An example of this situation might include if a building has been damaged by a fire and is in danger of collapse.

The second circumstance in which demolition of a contributing building may be approved is when there is exceptional practical difficulty or undue hardship on a property owner. If the hardship is economic, then sufficient documentation of the hardship, as outlined on application form, should be provided. An example of this situation might include if a building is in such poor and uninhabitable condition that the amount of funding necessary to rehabilitate the building would far exceed any economic return a property owner might expect for any legal use. The hardship should not be of the property owner's own making. Thus, in this example, if the property owner has neglected to perform regular maintenance on the building and has allowed it to deteriorate, the hardship provision cannot be utilized to justify demolition.

Historic buildings may not be demolished for speculative reasons or in order to make land more valuable. Vacant lots are often unmaintained, overgrown, and not conducive to pedestrian and economic activity. Therefore, historic buildings may not be demolished unless a COA has been issued for new development on the original lot.

There may be situations where a contributing building has undergone so much alteration and/or deterioration that its historic integrity has been lost. In that circumstance, the building should be determined non-contributing before a COA for demolition is issued.

City of Thomson's Zoning Code Section 2-145: A decision by the commission approving or denying a certificate of appropriateness for the demolition of buildings, structures, sites, trees judged to be 50 years old or older, or objects shall be guided by:

- *The historic, scenic or architectural significance of the building, structure, site, tree or object.*
- *The importance of the building, structure, site, tree, or object to the ambiance of a district.*



- *The difficulty or the impossibility of reproducing such a building, structure, site, tree, or object because of its design, texture, material, detail, or unique location.*
- *Whether the building, structure, site, tree, or object is one of the last remaining examples of its kind in the neighborhood or the city.*
- *Whether there are definite plans for use of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be.*
- *Whether reasonable measures can be taken to save the building, structure, site, tree, or object from collapse.*
- *Whether the building, structure, site, tree, or object is capable of earning reasonable economic return on its value.*

Relocation

Relocating historic buildings destroys the context in which a building is located and therefore should only be utilized as a method of last resort in order to save a building. The new location should be in as close proximity as possible to the original location. The orientation on the building on the new lot should be as similar as possible to the original. Permissive neglect does not justify relocation.

Historic buildings should not be relocated for speculative reasons or in order to make land more valuable. Vacant lots are often unmaintained, overgrown, and not conducive to pedestrian and economic activity. Therefore, historic buildings should not be relocated unless a COA has been issued for new development on the original lot.

City of Thomson's Zoning Code Section 2-145: A decision by the commission approving or denying a certificate of appropriateness for the relocation of a building, structure, or object shall be guided by:

- *The historic character and aesthetic interest the building, structure or object contributes to its present setting.*
- *Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be.*
- *Whether the building, structure or object can be moved without significant damage to its physical integrity.*
- *Whether the proposed relocation area is compatible with the historical and architectural character of the building, structure, site or object.*



Neglect

The failure to perform regular maintenance and repairs on buildings creates visual blight, reduces property values, and damages the historic integrity of the District. All properties, whether vacant or occupied, should be maintained in accordance with the International Property Maintenance Code and other relevant codes adopted by the City of Thomson.

An example of a neglected building.

City of Thomson's Zoning Code Sec. 2-146. - Maintenance of historic properties and building and zoning code provisions:

Ordinary maintenance or repair: Ordinary maintenance or repair of any exterior architectural or environmental feature in or on a historic property to correct deterioration, decay, or to sustain the existing form, and that does not involve a material change in design, material or outer appearance thereof, does not require a certificate of appropriateness.

Failure to provide ordinary maintenance or repair: Property owners of historic properties or properties within historic districts shall not allow their buildings to deteriorate by failing to provide ordinary maintenance or repair. The commission shall be charged with the following responsibilities regarding deterioration by neglect.

- The commission shall monitor the condition of historic properties and existing buildings in historic districts to determine if they are being allowed to deteriorate by neglect. Such conditions as broken windows, doors and exterior openings which allow the elements and vermin to enter, or the deterioration of a buildings structural system shall constitute failure to provide ordinary maintenance or repair.*
- In the event the commission determines a failure to provide ordinary maintenance or repair, the commission will notify the owner of the property and set forth the steps which need to be taken to remedy the situation. The owner of such property will have 90 days in which to do this.*
- In the event that the condition is not remedied in 90 days, the owner shall be punished as provided in subsection 2-147 of this division and, at the direction of the Thomson City Council, the commission may perform such maintenance or repair as is necessary to prevent deterioration by neglect. The owner of the property shall be liable for the cost of such maintenance and repair performed by the commission.*

Enforcement of these provisions shall be the responsibility of the designated Code Enforcement Official. A designated organization, such as a Land Bank Authority may also perform maintenance and repair at the direction of the City.



13 Resources and References

A. Secretary of the Interior's Standards for Rehabilitation

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, and/or related new construction.

The treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



B. Preservation Briefs

The National Park Service also publishes Preservation Briefs (available at <https://www.nps.gov/tps/how-to-preserve/briefs.htm>) which provide practical, how-to information about rehabilitating various aspects of historic buildings.

1. Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
2. Repointing Mortar Joints in Historic Masonry Buildings
3. Improving Energy Efficiency in Historic Buildings
4. Roofing for Historic Buildings
5. The Preservation of Historic Adobe Buildings
6. Dangers of Abrasive Cleaning to Historic Buildings
7. The Preservation of Historic Glazed Architectural Terra-Cotta
8. Aluminum and Vinyl Siding on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings
9. The Repair of Historic Wooden Windows
10. Exterior Paint Problems on Historic Woodwork
11. Rehabilitating Historic Storefronts
12. The Preservation of Historic Pigmented Structural Glass (Vitrolite and Carrara Glass)
13. The Repair and Thermal Upgrading of Historic Steel Windows
14. New Exterior Additions to Historic Buildings: Preservation Concerns
15. Preservation of Historic Concrete
16. The Use of Substitute Materials on Historic Building Exteriors
17. Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character
18. Rehabilitating Interiors in Historic Buildings—Identifying Character-Defining Elements
19. The Repair and Replacement of Historic Wooden Shingle Roofs
20. The Preservation of Historic Barns
21. Repairing Historic Flat Plaster—Walls and Ceilings
22. The Preservation and Repair of Historic Stucco
23. Preserving Historic Ornamental Plaster
24. Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches
25. The Preservation of Historic Signs
26. The Preservation and Repair of Historic Log Buildings
27. The Maintenance and Repair of Architectural Cast Iron
28. Painting Historic Interiors
29. The Repair, Replacement, and Maintenance of Historic Slate Roofs
30. The Preservation and Repair of Historic Clay Tile Roofs
31. Mothballing Historic Buildings
32. Making Historic Properties Accessible
33. The Preservation and Repair of Historic Stained and Leaded Glass
34. Applied Decoration for Historic Interiors: Preserving Historic Composition Ornament
35. Understanding Old Buildings: The Process of Architectural Investigation
36. Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes
37. Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing
38. Removing Graffiti from Historic Masonry
39. Holding the Line: Controlling Unwanted Moisture in Historic Buildings

40. Preserving Historic Ceramic Tile Floors
41. The Seismic Rehabilitation of Historic Buildings
42. The Maintenance, Repair and Replacement of Historic Cast Stone
43. The Preparation and Use of Historic Structure Reports
44. The Use of Awnings on Historic Buildings: Repair, Replacement and New Design
45. Preserving Historic Wooden Porches
46. The Preservation and Reuse of Historic Gas Stations
47. Maintaining the Exterior of Small and Medium Size Historic Buildings
48. Preserving Grave Markers in Historic Cemeteries
49. Historic Decorative Metal Ceilings and Walls: Use, Repair, and Replacement
50. Lightning Protection for Historic



C. Financial Incentives

Federal Grants <https://www.grants.gov>

Georgia Department of Economic Development <https://www.dca.ga.gov>

Georgia Humanities Council <http://georgiahumanities.org/grants>

Georgia Trust for Historic Preservation Callahan Grant

<https://www.georgiatrust.org/resources/grants-fellowships/>

Historic Landscape and Garden Grant Program <http://gardenclub.uga.edu/gardengrant.html>

Historic Preservation Division Grants <https://georgiashpo.org/tax-grants>

National Trust for Historic Preservation <https://savingplaces.org/grants>

D. Thomson Historic District Quick Reference Guide

What is design review?

Design review is the evaluation of any proposed exterior work to a property within the Thomson Historic District to ensure it is consistent with the standards and guidelines adopted for the District.

Which properties require design review?

All properties, both contributing and non-contributing within the Thomson Historic District require design review.

What work requires design review?

All work involving a change to the exterior requires design review. This includes alterations to existing buildings, additions, new construction, relocation, and demolition. Interior alterations and ordinary maintenance do not require design review.

What is a Certificate of Appropriateness (COA)?

A COA is the approval document certifying that a proposed project is consistent with the historic district design standards and guidelines. An applicant must apply for a COA prior to beginning a project. The Historic Preservation Commission or Planning and Zoning Staff will review the project and determine if it meets the standards. If the standards are met, a COA is issued. After a COA is issued, the applicant may then apply for a building permit.

What happens if work begins before a COA is issued?

If work begins prior to approval of a COA, a stop work order may be issued with the property owner subject to either fines or an order to restore the condition of the property.

Where can assistance be found?

The Thomson Historic District standards and design guidelines are useful for project planning; Planning and Zoning Staff may also be able to assist with project planning.

Are there any other review procedures?

Review of projects by the HPC or Planning and Zoning Staff may not be the only review required before work may proceed. Other city departments and boards may be required to examine a project for compliance with land use and zoning regulations, building and fire codes, sign ordinances, and, tree and landscape ordinances. Planning and Zoning Staff can assist with this determination.

E. Inventory of Contributing Resources

Thomson Historic District Contributing Resources

ParcelNo	ProjectNur	Legal	YR Built	Class	Use	Character Area
410062	1	703 707 & 709 AUGUSTA RD SE	1991	NC	Commercial	
00410062A00	2	AUGUSTA RD SE		V	Vacant	
00410062B00	3	725 AUGUSTA RD SE	1991	NC	Commercial	
410067	4	767 AUGUSTA RD SE US HWY 78 SEI	1970	NC	Commercial	
0T250021H00	5	HERITAGE WAY		V	Vacant	
00300050IC2	6	N LEE ST		V	Vacant	
00410003C00	7	HARRISON RD BY-PASS		V	Vacant	
410060	8	AUGUSTA RD SE	1972	NC	Commercial	
410061	9	685 AUGUSTA RD SE	1972	NC	Commercial	
410068	10	791 AUGUSTA RD SE	1960	NC	Commercial	
410069	11	811 AUGUSTA RD	1960	NC	Institutional	
0T220088	12	221 GORDON ST	1950	NC	Residential	
0T220089	13	225 GORDON ST	1951	NC	Residential	
00400089B00	14	COBBHAM RD NE		V	Vacant	
400090	15	751 COBBHAM RD NE	1985	NC	Commercial	
400091	16	735 COBBHAM RD NE	1984	NC	Commercial	
00410003A00	17	HARRISON & COBBHAM RD		V	Vacant	
00410003B00	18	COBBHAM RD		V	Vacant	
00410007B00	19	622 MAIN ST ADVANCE AUTO	1998	NC	Commercial	
00310054F00	20	WARRENTON HWY NW		V	Vacant	
00310054G00	21	ANSLEY DR NW		V	Vacant	
00310054H00	22	1020 W HILL DIALYSIS CTR	1999	NC	Commercial	
00310054C00	23	WARRENTON HWY NW		V	Vacant	
0T31A001	24	GREENWAY ST		V	Vacant	Downtown Core
0T140039	25	310 LEE ST NW	1903	C	Residential	
0T140040	26	S/S NEAL ST	1900	NC	Residential	
0T140060	27	308 W HALL ST	1921	C	Residential	
0T140061	28	312 W HALL ST	1939	C	Residential	
0T140062	29	316 W HALL ST	1900	C	Residential	
0T240049	30	344 E HILL ST SE & 118 BLACK ST	2018	NC	Commercial	
0T240049A00	31	212 E HILL ST	1999	NC	Commercial	
0T220089A00	32	341 CLEVELAND ST	2013	NC	Residential	
0T230168	33	327 CLEVELAND ST	1945	C	Residential	
0T230168B00	34	321 CLEVELAND ST	2001	NC	Residential	
0T230168C00	35	323 CLEVELAND ST	1999	NC	Residential	
4.00E+05	36	877 COBBHAM RD NE	2006	NC	Commercial	
400089	37	799 COBBHAM RD NE BEGGS FUNEF	1998	NC	Commercial	
00400089A00	38	COBBHAM RD NE		V	Vacant	
410001	39	COBBHAM RD & ELLINGTON AVE		V	Vacant	
410002	40	667 COBBHAM RD/HARRISON	1985	NC	Commercial	
410009	41	639 COBBHAM RD NE	1978	NC	Commercial	
410018	42	711 Cobbham Rd	1985	NC	Commercial	
420001	43	AUGUSTA RD SE	1993	NC	Commercial	
00420001A00	44	885 AUGUSTA RD SE	1955	NC	Commercial	
00420011C00	45	AUGUSTA RD SE (90-13)		V	Vacant	
420002	46	921-925 927 & 929 & 931 AUGUSTA RI	1980	NC	Commercial	
420003	47	943 AUGUSTA RD SE	1952	NC	Commercial	
420004	48	951 955 & 959 AUGUSTA RD SE	1952	NC	Commercial	



OT030007	49	314 CAMELIA DR NE	c1950 C	Residential	HH
OT030008	50	318 CAMELLIA DR NE	1949 C	Residential	HH
OT030009	51	324 CAMELLIA DR NW	c1950 C	Residential	HH
OT030010	52	328 CAMELLIA DR NW	1970 C	Residential	HH
OT040003	53	324 TOM WATSON WAY	1980 NC	Residential	
OT040004	54	LEE ST NW	V	Vacant	
OT040004A00	55	410 LEE ST NW	1961 C	Residential	HH
OT040005	56	416 LEE ST NW	1954 C	Residential	HH
OT040006	57	424 LEE ST NW	1960 C	Residential	HH
OT030001	58	327 CAMELLIA DR NE	1949 C	Residential	HH
OT030002	59	319 CAMELLIA DR NE	c1950 C	Residential	HH
OT030004	60	306 CAMELLIA DR NE	c1950 C	Residential	HH
OT030005	61	310 CAMELLIA DR NE	1950 C	Residential	HH
OT030006	62	312 CAMELLIA DR NE	c1950 C	Residential	HH
OT030011	63	502 LEE ST NW	c1960 C	Residential	HH
OT030012	64	510 LEE ST NW	1960 C	Residential	HH
OT030013	65	514 N LEE ST	2008 NC	Residential	HH
OT030014	66	518 LEE ST NW	1958 C	Residential	HH
OT030015	67	327 MAGNOLIA DR NW	1959 C	Residential	HH
OT030016	68	323 MAGNOLIA DR NW	c1970 C	Residential	HH
OT030017	69	321 MAGNOLIA DR NW	c1960 C	Residential	HH
OT030018	70	315 MAGNOLIA DR NW	c1970 C	Residential	HH
OT030019	71	311 MAGNOLIA DR NW	c1960 C	Residential	HH
OT030020	72	308 MAGNOLIA DR NW	1970 C	Residential	HH
OT030021	73	312 MAGNOLIA DR NW	c1965 C	Residential	HH
OT040012	74	THOMAS AVE	1950 NC	Residential	
OT040013	75	306 THOMAS AVE	1961 NC	Residential	
OT040047	76	305 THOMAS AVE	1955 NC	Residential	
OT040049	77	524 LUMPKIN ST	c1920 NC	Residential	
OT040050	78	521 LUMPKIN ST	1959 NC	Residential	
OT040051	79	LUMPKIN ST NW	V	Vacant	
OT040052	80	E SIDE LUMPKIN ST	V	Vacant	
OT040053	81	511 LUMPKIN ST	2005 NC	Residential	
OT040054	82	S SIDE LUMPKIN ST	V	Vacant	
OT040055	83	CITY OF THOMSON	V	Vacant	
OT040056	84	LUMPKIN ST	V	Vacant	
OT040057	85	LEE ST NW	V	Vacant	
OT040058	86	315 LEE ST NW	1918 C	Residential	
OT280007	87	696 COBBHAM RD NE	1969 NC	Residential	
OT280008	88	730 COBBHAM RD NE	V	Vacant	
OT240051	89	CORNER HENDRICK	V	Vacant	
OT240052	90	BLACK ST	V	Vacant	
OT240053	91	207 BLACK ST	1979 NC	Commercial	
OT240054	92	FRONTS ON BLACK ST	V	Vacant	
OT240055	93	223 BLACK ST	1957 NC	Commercial	
OT240056	94	146 E HILL ST	1977 NC	Commercial	
OT240057	95	118 E HILL ST	1978 NC	Commercial	
OT240058	96	102 E HILL ST	1986 NC	Commercial	
OT240059	97	244 JACKSON ST	1901 C	Residential	
OT240060	98	107 GIBSON ST	c1920 C	Residential	
OT240061	99	JACKSON ST SE	V	Vacant	

OT240062	100	218 JACKSON ST SE	1948 NC	Commercial	
OT240064	101	119-111 GEORGIA AVE	1950 NC	Commercial	
OT240065	102	106 GEORGIA AVE	1947 NC	Residential	
OT240066	103	110 thru 132 Jackson St. MAGNOLIA C	1955 NC	Commercial	
OT240068	104	124 HENDRICKS ST	2001 NC	Commercial	
OT240070	105	316 MAGNOLIA DR NW	1989 NC	Commercial	
OT030022	106	320 MAGNOLIA DR NW	1962 NC	Residential	
OT030023	107	326 MAGNOLIA DR NW	1964 C	Residential	HH
OT030024	108	538 LEE ST NW	1960 C	Residential	HH
OT030025	109	300 E HILL ST(DOLLAR GEN)	1968 C	Residential	HH
OT240049B00	110	326 E HILL ST SONIC DRIVE-IN	2002 NC	Commercial	HH
OT240049C00	111	220 BLACK ST FKA POOL HEATING &	2003 NC	Commercial	
OT240049D00	112	104 BLACK ST	2004 NC	Commercial	
OT240049E00	113	HERITAGE WAY	1948 NC	Commercial	
OT250021A00	114	HERITAGE WAY	V	Vacant	
OT250021B00	115	318 TOM WATSON WAY	V	Vacant	
OT040001	116	322 TOM WATSON WAY	1945 C	Residential	
OT040002	117	501 HICKORY HILLS DR NW	1900 C	Residential	
OT040024	118	3 HERITAGE WAY	1939 C	Residential	
OT250021C00	119	HERITAGE WAY	2002 NC	Residential	
OT250021D00	120	HERITAGE WAY	V	Vacant	
OT250021E00	121	HERITAE WAY	V	Vacant	
OT250021F00	122	HERITAGE WAY	V	Vacant	
OT250021G00	123	HSE OF GOD CH OF GOD N CH	V	Vacant	
OT250025	124	542 LEE ST NW	1980 NC	Commercial	
OT030026	125	606 N LEE ST	1965 NC	Residential	
OT030027	126	614 N LEE ST	c1965 C	Residential	HH
OT030028	127	618 LEE ST NW	1958 C	Residential	HH
OT030029	128	331 CAMELLIA DR NE	1971 NC	Residential	HH
OT040007	129	329 CAMELLIA DR NE	1953 C	Residential	HH
OT040008	130	409 CAMELLIA CT	1960 C	Residential	HH
OT040010	131	295 HICKORY HILL DR NW	c1950 C	Residential	HH
OT040011	132	538 W HILL ST	1990 NC	Residential	HH
OT060001	133	540 W HILL ST	1968 NC	Commercial	
OT060002	134	524 W HILL ST	1970 NC	Commercial	
OT060004	135	W HILL ST	1985 NC	Commercial	
OT060005	136	515 HICKORY HILL DR NW	V	Vacant	
OT040021	137	511 HICKORY HILL DR NW	1950 NC	Residential	
OT040022	138	507 HICKORY HILL DR NW	1938 C	Residential	
OT040023	139	306 GRIER CIR	1938 C	Residential	
OT040037	140	309 LEE ST NW	1964 NC	Residential	
OT040059	141	410 WESTVIEW DR NW	1920 C	Residential	
OT040060	142	414 WESTVIEW DR NW	1945 NC	Residential	
OT040061	143	420 WESTVIEW DR NW	1940 C	Residential	
OT040062	144	424 WESTVIEW DR NW	1944 NC	Residential	
OT040063	145	500 & 504 WESTVIEW DR NW	1970 NC	Residential	
OT040064	146	512 WESTVIEW DR NW	1950 NC	Residential	
OT040065	147	516 WESTVIEW DR NW	1920 C	Residential	
OT040066	148	220 BOYD AVE SE	c1940 C	Residential	
OT040067	149	417 WESTVIEW DR NW	1993 NC	Residential	
OT040069	150	407 WESTVIEW DR NW	1947 C	Residential	



OT040071	151	305 LEE ST NW	c1950 NC	Residential	
OT040072	152	707 LUMPKIN ST	c1970 NC	Residential	
OT050001	153	701 LUMPKIN ST	1959 NC	Residential	
OT050002	154	LUMPKIN ST LOT 1 E2020/82	1903 C	Residential	
OT050002B00	155	CITY OF THOMSON-LTS 18&19	V	Vacant	
OT050003	156	WESTVIEW CEMETERY	V	Vacant	
OT050004	157	200 BOYD AVE	V	Vacant	
OT050005	158	204 BOYD AVE NW HMH	1984 NC	Residential	
OT050006	159	BOYD DR	c1980 NC	Residential	
OT050007	160	306&308 MT PLEASANT RD & 1025A Warrentor	V	Vacant	
OT060011	161	W HILL ST	1985 NC	Commercial	
OT060012	162	549 W HILL ST US HWY 278 & MT PLEASANT	V	Vacant	
OT060012A00	163	W HILL ST	2001 NC	Commercial	
OT060013	164	668 N MAIN ST	V	Vacant	
OT110003	165	315 CHURCH ST NW	2008 NC	Commercial	
OT140047	166	307-309 Church Street	1945 C	Commercial	
OT140048	167	311 CHURCH ST	c1950 NC	Residential	
OT140048A00	168	MCDUFFIE CO OLD JAIL	c1950 NC	Residential	
OT140049	169	CITY OF THOMSON	c1970 NC	Residential	
OT140050	170	THOMSON POLICE DEPT	V	Vacant	
OT140051	171	N/S WEST HALL & CHURCH ST	c1965 NC	Residential	
OT140052	172	206 W HALL ST	V	Vacant	
OT140053	173	208 W HALL ST	V	Vacant	
OT140054	174	674 Main Street	1869 C	Residential	
OT110005	175	672 WASHINGTON RD NE	1980 NC	Commercial	
OT110005A00	176	1052 WASHINGTON RD PARCEL B	1986 NC	Commercial	
OT110005B00	177	242 FIRST AVE	2011 NC	Commercial	
OT150018	178	248 First Ave	c1930 C	Residential	
OT150019	179	107 GRADY ST	c1960 NC	Residential	
OT150020	180	114 LEE ST NW	c1920 C	Residential	
OT150021	181	116 LEE ST NW	c1920 C	Residential	
OT150022	182	120 LEE ST NW	c1930 C	Residential	
OT150023	183	112 GRADY ST	c1945 C	Residential	
OT150033	184	225 MILLEDGE ST	c1930 C	Residential	
OT150034	185	221 MILLEDGE ST	1904 C	Residential	
OT150035	186	219 MILLEDGE ST	c1920 C	Residential	
OT150036	187	211 MILLEDGE ST	c1920 C	Residential	
OT150037	188	ADKINS LOT	c1795 C	Residential	
OT150038	189	219 W HENDRICKS ST	V	Vacant	
OT150040	190	101 CHURCH & HENDRICKS ST	1985 NC	Commercial	
OT150041	191	LT S/S HENDRICK ST	1986 NC	Commercial	
OT150042	192	191 W HENDRICKS ST CRAB & HIBACHI HOU	V	Vacant	
OT150043	193	W HENDRICKS ST	2003 NC	Commercial	
OT150044	194	111 JACKSON & HENDRICKS	V	Vacant	
OT150045	195	504 506 512&A,C 516 MLK	1970 C	Commercial	Downtown Core
OT130015	196	523 MLK JR ST SPRINGFIELD BAPTIST CHUR	V	Vacant	Downtown Core
OT130016	197	602 MAIN ST	1980 NC	Institutional	
OT130017	198	609 MAIN ST	2012 NC	Institutional	
OT130018	199	612 MAIN ST	V	Vacant	
OT130019	200	617 MAIN ST	1950 NC	Institutional	
OT130020	201	LESLIE ST NW	1937 NC	Residential	



OT130021A00	202	303 MILLEDGE ST	V	Vacant	
OT150027	203	115 GRADY ST	1905 C	Residential	
OT150028	204	113 GRADY ST	1966 NC	Residential	
OT150029	205	VICTORY SQ	c1945 NC	Residential	
OT150030	206	242 VICTORY SQ	V	Vacant	
OT150031	207	110 GRADY ST	1944 NC	Residential	
OT150032	208	REAR LOT OFF NEAL STREET	c1960 NC	Residential	
OT140041	209	LOT NEAL ST	V	Vacant	
OT140042	210	301 NEAL ST	V	Vacant	
OT140043	211	217 NEAL ST	1939 C	Residential	
OT140044	212	215 NEAL ST	1956 NC	Residential	
OT140045	213	209 NEAL ST	c1930 C	Residential	
OT140046	214	211 W HALL ST	1948 NC	Residential	
OT140078	215	1043 WASHINGTON RD NW	c1930 C	Residential	
OT110019	216	316 LEE ST NW	1991 NC	Commercial	
OT140037	217	S/S NEAL ST	c1930 C	Residential	
OT140040A00	218	BETHANY DR NW	V	Vacant	
OT140016	219	313 & 315 ROSE LANE NW	V	Vacant	
OT140017	220	309 & 311 ROSE LANE NW	c1970 NC	Residential	
OT140018	221	305 & 307 ROSE LANE NW	c1970 C	Residential	HH
OT140019	222	301 & 303 ROSE LN NW	c1970 C	Residential	HH
OT140020	223	419 BETHANY DR NW	c1970 C	Residential	HH
OT140021	224	415/417 BETHANY DR NW	1978 NC	Residential	HH
OT140022	225	MAIN ST OFFICES	c1950 C	Residential	HH
OT140105A00	226	WHITEOAK ST	1940 C	Residential	HH
OT140106	227	110 WHITEOAK ST	V	Vacant	Downtown Core
OT140107	228	WHITEOAK ST	1920 NC	Residential	
OT140108	229	222 MAIN ST & 104 WHITE OAK ST	V	Vacant	
OT140109	230	305 MAIN ST	1971 NC	Commercial	
OT140110	231	COBB ST	1933 C	Commercial	
OT140111	232	109 COBB ST	V	Vacant	
OT140112	233	115 COBB ST	c1910 C	Residential	
OT140113	234	104 COBB ST	c1930 C	Residential	
OT140114	235	MAIN & COBB	1980 NC	Commercial	
OT140115	236	234 MAIN ST	1969 NC	Commercial	
OT140116	237	107 E HALL ST	1920 C	Commercial	
OT140117	238	109 E HALL ST	c1920 C	Residential	
OT140118	239	111 E HALL ST	1946 C	Residential	
OT140119	240	115 E HALL ST	1910 C	Residential	
OT140120	241	E HALL ST	1940 NC	Commercial	
OT140121	242	MCDUFFIE CO	1940 C	Residential	
OT140122	243	114 E HALL ST	V	Vacant	
OT140123	244	110 E HALL ST	1985 NC	Residential	
OT140124	245	108 E HALL ST	1900 C	Commercial	
OT140125	246	106 E HALL ST	1953 NC	Residential	
OT140126	247	104 E HALL ST SUITES A-D	1971 NC	Commercial	
OT140127	248	308 MAIN ST	1973 NC	Commercial	
OT140128	249	314-316 MAIN ST	1900 C	Commercial	
OT140129	250	R S C CLUB INC	1975 NC	Commercial	
OT120071	251	634 MAIN ST STATE FARM INS	V	Vacant	
OT120101	252	640 MAIN-K&M LAUNDROMAT	1982 NC	Commercial	



OT120102	253	642,642B & 644 MAIN ST	1977 NC	Commercial	
OT120103	254	650 MAIN ST N	1979 NC	Commercial	
OT120104	255	654 MAIN ST CARRIAGE LANE SHOPI	1940 NC	Commercial	
OT120105	256	658 MAIN ST	1992 NC	Commercial	
OT120106	257	687 Main Street	1980 NC	Commercial	
OT120123	258	651 Main Street	1997 NC	Commercial	
OT120123001	259	647 & 649 MAIN ST.	1975 NC	Commercial	
OT120124	260	643 MAIN ST	1971 NC	Commercial	
OT120125	261	W OF U S 78	1940 C	Commercial	
OT120126	262	639 Main Street	V	Vacant	
OT120127	263	CITY OF THOMSON	2007 NC	Institutional	
OT120129	264	CITY FIRE DEPT	V	Vacant	
OT120130	265	CITY OF THOMSON	V	Vacant	
OT120131	266	228 MCCOMMONS ST FIRE STATION	V	Vacant	
OT120132	267	179 CHEROKEE ST NW NMH	1993 NC	Institutional	
OT120145	268	514 PINE CT APTS 505-530	c1990 NC	Residential	
OT130001A00	269	504 MAIN ST	1988 NC	Residential	
OT130002	270	506 MAIN ST	1931 C	Residential	
OT130003	271	510 MAIN ST	1926 NC	Commercial	
OT130004	272	516 518 & 520 MAIN ST	c1930 C	Commercial	
OT130005	273	CITY OF THOMSON & MCDUFFIE COI	1935 C	Commercial	
OT130006	274	MCDUFFIE CTY BD ED TMS PRACTICE FIELD V	V	Vacant	
OT130007	275	125 SPRINGFIELD ST APTS	V	Vacant	
OT130008	276	513 MLK JR ST (TRIPLEX A, B, & C)	1986 NC	Commercial	
OT130009	277	MLK JR ST	1968 NC	Commercial	
OT130010	278	417 MLK JR ST	V	Vacant	
OT130011	279	W/S PINE ST	1946 C	Residential	
OT130012	280	202 GORDON ST NE	V	Vacant	
OT130014	281	CITY OF THOMSON & MCDUFFIE COI	2017 NC	Commercial	
OT130081A00	282	541 BETHANY DR NW	1940 C	Institutional	
OT130084	283	535 BETHANY DR	1949 NC	Residential	
OT130085	284	BETHANY BAPTIST	c1950 C	Residential	HH
OT130086	285	304 CAMELLIA DR NE	1951 C	Residential	HH
OT130087	286	301 CAMELLIA DR NE	1985 NC	Residential	HH
OT130088	287	509 BETHANY DR NW	1945 C	Residential	HH
OT130089	288	300 ROSE LN NW	c1950 C	Residential	HH
OT130090	289	313 CAMELLIA DR NE	c1990 NC	Residential	HH
OT130093	290	BETHANY DR NW	1945 C	Residential	HH
OT130094	291	GA EDUC AUTHORITY	1990 NC	Institutional	HH
OT130095	292	337 MAIN ST	c1955 NC	Institutional	
OT140001	293	353 MAIN ST	1872 C	Institutional	
OT140002	294	346 MAIN & GORDON ST	1902 C	Institutional	
OT140003	295	111 GORDON ST	1930 C	Commercial	
OT140004	296	L/S SIDE GORDON ST	1900 C	Residential	
OT140005	297	115 GORDON ST & GREENWAY	V	Vacant	
OT140006	298	LIBRARY BOARD GREENWAY ST	1979 NC	Commercial	
OT140006A00	299	118 GORDON ST & PINE	V	Vacant	
OT140007	300	108 GORDON ST STATE BRD OF PAF	1950 NC	Residential	
OT140008	301	MAIN & GORDON	1970 NC	Residential	
OT140010	302	406 MAIN ST	1959 NC	Residential	
OT140011	303	407, 409 & 411 MAIN ST	1970 NC	Commercial	



OT140012	304	353 Main Street	1972 NC	Residential
OT140013	305	THOMSON MEM CEM	1960 NC	Institutional
OT140014	306	L N/S LUMPKIN	V	Vacant
OT140015	307	310 Watson Way	V	Vacant
OT140024	308	326 LEE ST NW	c1880 C	Residential
OT140025	309	319 TOM WATSON WAY	1986 NC	Residential
OT140026	310	315 TOM WATSON WAY	1957 NC	Residential
OT140027	311	309 TOM WATSON WAY	2007 NC	Residential
OT140028	312	307 TOM WATSON WAY	1994 NC	Residential
OT140028A00	313	LUMPKIN ST PART PARCEL A	1993 NC	Residential
OT140028B00	314	303 TOM WATSON WAY	V	Vacant
OT140029	315	301 TOM WATSON WAY	1900 C	Residential
OT140030	316	215 Tom Watson Way	1940 C	Residential
OT140031	317	FIRST UNITED METHODIST	V	Vacant
OT140032	318	305 PIERCE AVE	1945 NC	Residential
OT140033	319	301 PIERCE AVE	2002 NC	Residential
OT140033A00	320	307 PIERCE AVE NW	2002 NC	Residential
OT140033B00	321	303 PIERCE AVE	2002 NC	Residential
OT140033C00	322	304&306 NEAL ST	2002 NC	Residential
OT140034	323	310 NEAL ST	c1960 NC	Residential
OT140035	324	N OF NEAL ST	1962 NC	Residential
OT140036	325	411-413 BETHANY DR NW	V	Vacant
OT140023	326	311 MILLEDGE ST	c1950 NC	Residential
OT150024	327	307 MILLEDGE ST	1930 C	Residential
OT150025	328	305 MILLEDGE ST	1956 NC	Residential
OT150026	329	N/S W HALL ST	1935 C	Residential
OT140055	330	214 W HALL ST	V	Vacant
OT140056	331	218 W HALL ST	c1930 C	Residential
OT140057	332	W HALL ST	c1920 NC	Residential
OT140058	333	306 W HALL ST	V	Vacant
OT140059	334	324 MAIN ST	1973 NC	Residential
OT140130	335	338 MAIN ST MCDUFFIE CO - LIBRAR	1880 C	Residential
OT140131	336	307 Greenway Street	1998 NC	Institutional
OT140132	337	Greenway Street	1988 NC	Institutional
OT140133	338	323 Church Street	1981 NC	Residential
OT140134	339	203 LEE ST NW	c2000 NC	Institutional
OT150001	340	131 LEE ST NW PARCEL B	1909 C	Residential
OT150002	341	304 LEE ST NW	1870 C	Residential
OT140063	342	223 LEE ST NW	1950 NC	Residential
OT140064	343	217 LEE ST NW	1859 C	Residential
OT140066	344	213 LEE ST NW	1870 C	Residential
OT140068	345	209 LEE ST NW	1907 C	Residential
OT140069	346	202 LEE ST NW	1869 C	Residential
OT140070	347	228 MILLEDGE ST	1918 C	Residential
OT140070A00	348	204 LEE ST NW	1990 NC	Residential
OT140071	349	210 LEE ST NW	1918 C	Residential
OT140072	350	216 LEE ST NW	c1920 C	Residential
OT140073	351	220 LEE ST NW	1925 C	Residential
OT140074	352	305 W HALL ST	1937 C	Residential
OT140075	353	221 W HALL ST	1937 C	Residential
OT140076	354	215 W HALL ST	1908 C	Residential



OT140077	355	209 W HALL ST	1968 NC	Residential	
OT140079	356	207 W HALL ST	c1970 NC	Residential	
OT140080	357	205 W HALL ST	1905 C	Residential	
OT140081	358	219 CHURCH ST	1926 C	Residential	
OT140082	359	217 CHURCH ST NW	c1925 C	Residential	
OT140083	360	213 CHURCH ST NW	1930 C	Residential	
OT140084	361	209 CHURCH ST NW	1919 C	Residential	
OT140085	362	203 & 205 CHURCH ST NW	1963 NC	Residential	
OT140086	363	CHURCH ST NW	c1945 C	Residential	
OT140087	364	204 MILLEDGE ST	c1930 C	Residential	
OT140088	365	206 MILLEDGE ST	c1960 NC	Residential	
OT140089	366	210 MILLEDGE ST	c1960 NC	Residential	
OT140090	367	214 MILLEDGE ST	c1980 NC	Residential	
OT140091	368	218 MILLEDGE ST	V	Vacant	
OT140092	369	224 MILLEDGE ST	1987 NC	Residential	
OT140093	370	207 MILLEDGE ST	1940 C	Residential	
OT140094	371	185 CHURCH ST NW	1999 NC	Residential	
OT140094A00	372	187 CHURCH ST NW	1999 NC	Residential	
OT140094B00	373	209 MILLEDGE ST	1999 NC	Residential	
OT140094C00	374	216 FIRST AVE NW	1999 NC	Residential	
OT140095	375	210 FIRST AVE	c1960 NC	Residential	
OT140095A00	376	200 CHURCH ST NW	2001 NC	Commercial	
OT140096	377	204 CHURCH ST NW	c1920 C	Residential	
OT140097	378	206 CHURCH ST NW	c1920 C	Residential	
OT140098	379	208 CHURCH ST NW	c1935 C	Residential	
OT140099	380	CHURCH ST NW	1955 NC	Residential	
OT140099A00	381	CHURCH ST NW	V	Vacant	
OT140099B00	382	227 MAIN ST	V	Vacant	
OT140100	383	235 MAIN ST	V	Vacant	
OT140101	384	219 MAIN ST (REAL ESTATE OFF)	1987 NC	Commercial	
OT140102	385	MAIN & WHITEOAK	1950 NC	Commercial	
OT140103	386	203 MAIN ST NW	1930 C	Commercial	
OT140104	387	204 MAIN ST SW	1910 C	Commercial	Downtown Core
OT140105	388	A J MILLER LODGE	1963 C	Commercial	Downtown Core
OT140129001	389	125 LEE ST NW	1975 NC	Residential	Downtown Core
OT150003	390	123 LEE ST NW	1963 NC	Residential	
OT150004	391	115 LEE ST NW	c1920 C	Residential	
OT150005	392	CITY OF THOMSON	c1920 C	Residential	
OT150006	393	107 & 109 LEE ST NW DUPLEX	V	Vacant	
OT150007	394	332 CLEVELAND ST	c1940 C	Residential	
OT220124	395	318 GORDON ST	1966 NC	Residential	
OT220076	396	322 GORDON ST	1950 NC	Residential	
OT220076A00	397	316 GORDON ST	1909 C	Residential	
OT220077	398	W/S GORDON ST	2020 NC	Residential	
OT220078	399	306 GORDON ST	V	Vacant	
OT220079	400	103 GRADY ST	1999 NC	Residential	
OT150008	401	226 W HENDRICKS ST NE	1965 NC	Commercial	
OT150009	402	FIRST AVE	1898 C	Residential	
OT150009A00	403	LOT S/S FIRST AVE	V	Vacant	
OT150010	404	117 FIRST AVE	V	Vacant	
OT150012	405	111 & 113 FIRST AVE & GA RR	1970 C	Commercial	Downtown Core



OT140077	355	209 W HALL ST	1968 NC	Residential	
OT140079	356	207 W HALL ST	c1970 NC	Residential	
OT140080	357	205 W HALL ST	1905 C	Residential	
OT140081	358	219 CHURCH ST	1926 C	Residential	
OT140082	359	217 CHURCH ST NW	c1925 C	Residential	
OT140083	360	213 CHURCH ST NW	1930 C	Residential	
OT140084	361	209 CHURCH ST NW	1919 C	Residential	
OT140085	362	203 & 205 CHURCH ST NW	1963 NC	Residential	
OT140086	363	CHURCH ST NW	c1945 C	Residential	
OT140087	364	204 MILLEDGE ST	c1930 C	Residential	
OT140088	365	206 MILLEDGE ST	c1960 NC	Residential	
OT140089	366	210 MILLEDGE ST	c1960 NC	Residential	
OT140090	367	214 MILLEDGE ST	c1980 NC	Residential	
OT140091	368	218 MILLEDGE ST	V	Vacant	
OT140092	369	224 MILLEDGE ST	1987 NC	Residential	
OT140093	370	207 MILLEDGE ST	1940 C	Residential	
OT140094	371	185 CHURCH ST NW	1999 NC	Residential	
OT140094A00	372	187 CHURCH ST NW	1999 NC	Residential	
OT140094B00	373	209 MILLEDGE ST	1999 NC	Residential	
OT140094C00	374	216 FIRST AVE NW	1999 NC	Residential	
OT140095	375	210 FIRST AVE	c1960 NC	Residential	
OT140095A00	376	200 CHURCH ST NW	2001 NC	Commercial	
OT140096	377	204 CHURCH ST NW	c1920 C	Residential	
OT140097	378	206 CHURCH ST NW	c1920 C	Residential	
OT140098	379	208 CHURCH ST NW	c1935 C	Residential	
OT140099	380	CHURCH ST NW	1955 NC	Residential	
OT140099A00	381	CHURCH ST NW	V	Vacant	
OT140099B00	382	227 MAIN ST	V	Vacant	
OT140100	383	235 MAIN ST	V	Vacant	
OT140101	384	219 MAIN ST (REAL ESTATE OFF)	1987 NC	Commercial	
OT140102	385	MAIN & WHITEOAK	1950 NC	Commercial	
OT140103	386	203 MAIN ST NW	1930 C	Commercial	
OT140104	387	204 MAIN ST SW	1910 C	Commercial	Downtown Core
OT140105	388	A J MILLER LODGE	1963 C	Commercial	Downtown Core
OT140129001	389	125 LEE ST NW	1975 NC	Residential	Downtown Core
OT150003	390	123 LEE ST NW	1963 NC	Residential	
OT150004	391	115 LEE ST NW	c1920 C	Residential	
OT150005	392	CITY OF THOMSON	c1920 C	Residential	
OT150006	393	107 & 109 LEE ST NW DUPLEX	V	Vacant	
OT150007	394	332 CLEVELAND ST	c1940 C	Residential	
OT220124	395	318 GORDON ST	1966 NC	Residential	
OT220076	396	322 GORDON ST	1950 NC	Residential	
OT220076A00	397	316 GORDON ST	1909 C	Residential	
OT220077	398	W/S GORDON ST	2020 NC	Residential	
OT220078	399	306 GORDON ST	V	Vacant	
OT220079	400	103 GRADY ST	1999 NC	Residential	
OT150008	401	226 W HENDRICKS ST NE	1965 NC	Commercial	
OT150009	402	FIRST AVE	1898 C	Residential	
OT150009A00	403	LOT S/S FIRST AVE	V	Vacant	
OT150010	404	117 FIRST AVE	V	Vacant	
OT150012	405	111 & 113 FIRST AVE & GA RR	1970 C	Commercial	Downtown Core



OT220106	457	511 ELLINGTON AVE NE	V	Vacant
OT220107	458	509 ELLINGTON AVE NE	1949 NC	Residential
OT220108	459	505 & 507 ELLINGTON AVE NE	c1950 NC	Residential
OT220109	460	401 GORDON ST	c1950 NC	Residential
OT220186A00	461	521 W HILL ST SW	1960 NC	Residential
OT160012	462	WARE ST	1995 NC	Institutional
OT160013	463	310 WHITEOAK ST	c2000 NC	Institutional
OT230108	464	308 WHITEOAK ST	1930 C	Residential
OT230109	465	WHITEOAK ST	c1930 C	Residential
OT230110	466	302 WHITEOAK ST	V	Vacant
OT230110A00	467	222 CLEVELAND ST	1950 NC	Residential
OT230110B00	468	220 WHITEOAK ST	1940 C	Residential
OT230111	469	216 WHITEOAK ST	1930 C	Residential
OT230112	470	212 WHITEOAK ST	1895 C	Residential
OT230113	471	505 GORDON ST	1920 C	Residential
OT210012	472	GORDON ST	1860 C	Commercial
OT210012B00	473	GORDON ST	V	Vacant
OT210012C00	474	MENDEL AVE	V	Vacant
OT210012D00	475	584 COBBHAM & HINTON DR	V	Vacant
OT210016	476	503 GORDON ST NE	1997 NC	Commercial
OT210018	477	352 GORDON ST SWEET T'S	1962 NC	Commercial
OT220067	478	350 GORDON ST	1956 NC	Commercial
OT220068	479	246 GORDON ST	V	Vacant
OT220069	480	342 GORDON ST	V	Vacant
OT220070	481	340 GORDON ST	1910 C	Residential
OT220071	482	338 GORDON ST NE	1948 NC	Residential
OT220072	483	334 GORDON ST	1947 C	Residential
OT220073	484	328 GORDON ST	1945 C	Residential
OT220074	485	324 GORDON ST	2006 NC	Residential
OT220075	486	302 GORDON ST	c1910 C	Residential
OT220080	487	228 GORDON ST	V	Vacant
OT220081	488	224 GORDON ST	1950 NC	Residential
OT220082	489	220 GORDON ST	1950 NC	Residential
OT220083	490	214 GORDON ST	1900 C	Residential
OT220084	491	211 GORDON ST	1960 NC	Residential
OT220085	492	213 GORDON ST	1949 NC	Residential
OT220086	493	217 GORDON ST	c1910 C	Residential
OT220087	494	227 GORDON ST NE	1950 NC	Residential
OT220090	495	301 GORDON ST	1993 NC	Residential
OT220091	496	310 CLEVELAND ST	1925 C	Residential
OT230133	497	524 JACKSON ST SE	c1920 NC	Residential
OT250117	498	512 A & B JACKSON ST SE	2015 NC	Commercial
OT250118	499	510 & 510A JACKSON ST SE	1925 C	Residential
OT250119	500	E/S JACKSON ST SE	c1920 C	Residential
OT250120	501	506/508 JACKSON ST SE DUPLEX	V	Vacant
OT250121	502	462 A&B JACKSON ST SE	c1950 NC	Residential
OT250122	503	458 JACKSON ST SE	c1920 NC	Residential
OT250124	504	450 JACKSON ST SE	c1920 NC	Residential
OT250125	505	107,109&111PITTS/434&446 JACKSON	c1920 NC	Residential
OT250126	506	305 GORDON ST	1920 NC	Residential
OT220092	507	311 GORDON ST	c1910 C	Residential

0T220093	508	313 GORDON ST	c1920 C	Residential	
0T220094	509	407 PECAN ALLEY	c1910 C	Residential	
0T220095	510	409 & 411 PECAN ALLEY	2003 NC	Residential	
0T220096	511	406 & 406A PECAN ALLEY HMH 406&	2003 NC	Residential	
0T220098	512	317 GORDON ST	c1990 NC	Residential	
0T220099	513	319 GORDON ST	c1910 C	Residential	
0T220100	514	325 GORDON ST	1900 NC	Residential	
0T220101	515	329 GORDON ST	1885 C	Residential	
0T220102	516	331 GORDON ST	1945 C	Residential	
0T220103	517	339 GORDON ST	1900 C	Residential	
0T220104	518	345 GORDON ST	1947 C	Residential	
0T220105	519	341 GORDON ST	1949 NC	Residential	
0T220105A00	520	236 GREENWAY ST	2021 NC	Residential	
0T230116	521	204 COBB ST	c1930 C	Residential	
0T230116A00	522	E/S GREENWAY ST	1880 C	Residential	
0T230117	523	300 GREENWAY ST	1940 NC	Residential	
0T230118	524	310 GREENWAY ST	1930 C	Commercial	
0T230119	525	209 HOLT ST	1945 NC	Commercial	
0T230120	526	233 & 235 E HILL ST	V	Vacant	
0T240041	527	315 E HILL ST	1982 NC	Commercial	
0T240042	528	329 E HILL ST	1989 NC	Commercial	
0T240043	529	206 E HILL ST	1950 NC	Commercial	
0T240047	530	204 E HILL ST	2006 NC	Commercial	
0T240047A00	531	120 BLACK ST	V	Vacant	
0T240048A00	532	407 GORDON ST	1977 NC	Commercial	
0T220187	533	COBBHAM RD NE .39 AC	1970 NC	Residential	
0T220188	534	E HALL	V	Vacant	
0T230001	535	235 GREENWAY ST	1940 C	Residential	
0T230002	536	117 COBB ST	c1920 C	Residential	
0T230003	537	229 GREENWAY ST	c1930 C	Residential	
0T230004	538	118 WHITEOAK ST	1945 C	Residential	
0T230005	539	113 WHITEOAK ST	1900 C	Residential	
0T230006	540	WHITEOAK ST	1892 C	Residential	
0T230007	541	WHITEOAK ST	V	Vacant	
0T230008	542	119 WHITEOAK ST	V	Vacant	
0T230009	543	GREENWAY ST	V	Vacant	
0T230010	544	THOMSON/MCDUFFIE COUNTY	V	Vacant	
0T230012	545	138 JOURNAL ST	V	Vacant	
0T230013	546	136 JOURNAL ST	1900 C	Commercial	Downtown Core
0T230014	547	N/SIDE JOURNAL ST	1900 C	Commercial	Downtown Core
0T230015	548	116 Journal Street	V	Vacant	Downtown Core
0T230017	549	KNOX SHOPPING CTR	1914 C	Commercial	Downtown Core
0T230019	550	114 NASSAU PL KNOX & SWAN OFFI	1946 C	Commercial	Downtown Core
0T230019A00	551	THOMSON/MCDUFFIE COUNTY	1930 C	Commercial	Downtown Core
0T230024A00	552	CITY OF THOMSON	V	Vacant	Downtown Core
0T230025	553	CITY OF THOMSON	V	Vacant	
0T230026	554	CITY OF THOMSON	V	Vacant	
0T230027	555	317 RAILROAD ST NE CITY OF THOMSON	V	Vacant	
0T230028	556	RAILROAD ST	c2000 NC	Institutional	
0T230032	557	108A&B O'NEAL AVE DUPLEX	V	Vacant	
0T230033	558	110 ONEAL AVE	1940 NC	Residential	

0T230034	559	112 ONEAL AVE	1900 C	Residential
0T230035	560	209 ONEAL AVE	c1940 C	Residential
0T230036	561	205 O'NEAL AVE	1980 NC	Residential
0T230037	562	113 ONEAL AVE PARCEL B	1930 C	Residential
0T230038	563	OFF ONEAL AVE	c1930 C	Residential
0T230038A00	564	322 RAILROAD ST NE	V	Vacant
0T230039	565	318 RAILROAD ST NE	1900 C	Residential
0T230040	566	314 RAILROAD ST	1900 C	Residential
0T230041	567	RAILROAD ST	1920 C	Residential
0T230042	568	ONEAL AVE	V	Vacant
0T230043	569	214 Greenway Street	V	Vacant
0T230080	570	201 WHITEOAK ST	2012 NC	Institutional
0T230081	571	205 WHITEOAK ST	1910 C	Residential
0T230082	572	209 WHITEOAK ST	2020 NC	Residential
0T230083	573	211 WHITEOAK ST	1920 C	Residential
0T230084	574	217 WHITEOAK ST	1900 C	Residential
0T230085	575	219 WHITEOAK ST	1910 C	Residential
0T230086	576	223 WHITEOAK ST	c1930 NC	Residential
0T230087	577	225 WHITEOAK ST	1900 C	Residential
0T230088	578	303 WHITEOAK ST	1914 C	Residential
0T230089	579	WHITEOAK ST	1915 C	Residential
0T230090	580	311 WHITEOAK ST	V	Vacant
0T230091	581	317 WHITEOAK ST	1860 C	Residential
0T230093	582	321 WHITEOAK ST	1937 C	Residential
0T230094	583	403 WHITEOAK ST	1940 C	Residential
0T230095	584	407 WHITEOAK ST	1940 C	Residential
0T230096	585	409 WHITEOAK ST	1950 NC	Residential
0T230097	586	411 WHITEOAK ST	c1945 NC	Residential
0T230098	587	417 WHITEOAK ST	1950 NC	Residential
0T230099	588	412 WHITEOAK ST	1950 NC	Residential
0T230101	589	406 WHITEOAK ST	1950 NC	Residential
0T230102	590	404 WHITEOAK ST	c1950 NC	Residential
0T230103	591	400 WHITEOAK ST	1945 NC	Residential
0T230104	592	322 WHITEOAK ST	1950 NC	Residential
0T230105	593	318 WHITEOAK ST	1940 C	Residential
0T230106	594	314 WHITEOAK ST	c1930 C	Residential
0T230107	595	210 WHITEOAK ST	1900 C	Residential
0T230114	596	206 WHITEOAK ST	1905 C	Residential
0T230115	597	200 WHITEOAK ST	1905 C	Residential
0T230115A00	598	211/213 HOLT ST	1905 C	Residential
0T230121	599	217 HOLT ST	1960 NC	Residential
0T230122	600	221 HOLT ST	c1930 C	Residential
0T230123	601	311 CLEVELAND ST COTTAGE 1	1920 C	Residential
0T230124	602	311 CLEVELAND ST COTTAGE 2	2019 NC	Residential
0T230124A00	603	311 CLEVELAND ST COTTAGE 4	2019 NC	Residential
0T230124R00	604	311 CLEVELAND ST COTTAGE 17	2019 NC	Residential
0T230124D00	605	311 CLEVELAND ST COTTAGE 18	c2000 NC	Residential
0T230124E00	606	311 CLEVELAND ST COTTAGE 7	c2000 NC	Residential
0T230124F00	607	311 CLEVELAND ST COTTAGE 8	c2000 NC	Residential
0T230124G00	608	311 CLEVELAND ST COTTAGE 9	2003 NC	Residential
0T230124H00	609	311 CLEVELAND ST COTTAGE 10	2003 NC	Residential

0T230124I00	610	311 CLEVELAND ST COTTAGE 11	2004 NC	Residential	
0T230124J00	611	311 CLEVELAND ST COTTAGE 12	2003 NC	Residential	
0T230124K00	612	311 CLEVELAND ST COTTAGE 14	2019 NC	Residential	
0T230124M00	613	311 CLEVELAND ST COTTAGE 15	2003 NC	Residential	
0T230124N00	614	311 CLEVELAND ST COTTAGE 16	2005 NC	Residential	
0T230124P00	615	223 HOLT ST	2005 NC	Residential	
0T230124Q00	616	THE COTTAGES" COMMON AREA	1940 NC	Residential	
0T230125	617	309 CLEVELAND ST	V	Vacant	
0T230126	618	301 CLEVELAND ST	1922 C	Residential	
0T230127	619	LOT N COBB ST	1900 C	Residential	
0T230128	620	208 COBB ST	V	Vacant	
0T230129	621	302 CLEVELAND ST	2004 NC	Residential	
0T230130	622	306 CLEVELAND ST	1939 C	Residential	
0T230131	623	306 A CLEVELAND ST NE UNIT A	V	Vacant	
0T230131A00	624	306 B CLEVELAND ST NE UNIT B	1972 NC	Residential	
0T230131B00	625	306 C CLEVELAND ST NE	1972 NC	Residential	
0T230131C00	626	306 D CLEVELAND ST NE	1972 NC	Residential	
0T230131D00	627	306 E CLEVELAND ST NE	1972 NC	Residential	
0T230131E00	628	306 F CLEVELAND ST	1972 NC	Residential	
0T230131F00	629	306 G CLEVELAND ST NE	1972 NC	Residential	
0T230131G00	630	308 CLEVELAND ST	1972 NC	Residential	
0T230132	631	N OF HILL ST	1920 C	Residential	
0T310072	632	420 E HILL ST	1966 NC	Commercial	
0T310073	633	410 E HILL ST	1960 NC	Commercial	
0T310074	634	400 E HILL ST	1965 NC	Commercial	
0T310075	635	E HILL ST / US HWY 278	1967 NC	Commercial	
0T310076A00	636	E HILL ST	V	Vacant	
0T310077	637	W/S GREENWAY ST	V	Vacant	
0T31A003	638	CITY OF THOMSON	1970 NC	Commercial	
0T31A004	639	134 RAILROAD ST	V	Vacant	Downtown Core
0T31A004A00	640	CITY OF THOMSON	1900 C	Commercial	Downtown Core
0T31A005	641	SCOTTS ALLEY	V	Vacant	Downtown Core
0T31A005A00	642	OLD GAS LIGHT THEATRE	V	Vacant	Downtown Core
0T31A006	643	110 Journal Street	V	Vacant	Downtown Core
0T31A007	644	122 MAIN ST NE	1920 NC	Commercial	Downtown Core
0T31A008	645	118 & 120 MAIN ST	1900 C	Commercial	Downtown Core
0T31A009	646	114 & 116 MAIN ST	1925 C	Commercial	Downtown Core
0T31A010	647	110 CENTRAL AVE	1960 NC	Commercial	Downtown Core
0T31A011	648	108 RR ST MCD MIRROR	V	Vacant	Downtown Core
0T31A012	649	230 HOLT ST	1910 NC	Commercial	Downtown Core
0T230168A00	650	319 CLEVELAND ST	1940 C	Residential	Downtown Core
0T230168D00	651	226 HOLT ST	1950 NC	Residential	
0T230169	652	222 HOLT ST	c1910 NC	Residential	
0T230170	653	220 HOLT ST	1940 C	Residential	
0T230171	654	216 HOLT ST	1950 NC	Residential	
0T230172	655	212 HOLT ST	1946 C	Residential	
0T230173	656	210 HOLT ST	1940 C	Residential	
0T230174	657	208 HOLT ST	1940 NC	Residential	
0T230175	658	201 GORDON ST	1940 NC	Residential	
0T230176	659	CITY-R R ST (NAT HOMES)	1990 NC	Commercial	
0T230177	660	U S POSTAL SERVICE	V	Vacant	



0T240001	661	U S POSTAL SERVICE	1973 C	Institutional	Downtown Core
0T240002	662	FIRST BAPTIST CHURCH/ 253 JACKSON ST S V		Vacant	Downtown Core
0T240003	663	133 & 135 W HILL ST	1975 NC	Institutional	Downtown Core
0T240008	664	109 W HILL ST	1948 NC	Commercial	
0T240009	665	315 JACKSON ST SW	2009 NC	Commercial	
0T240010	666	329 A B C JACKSON ST SW	V	Vacant	
0T240012	667	339 JACKSON ST SW	1920 C	Residential	
0T240013	668	CITY OF THOMSON	1930 C	Residential	
0T240016	669	PITTS ST SE	V	Vacant	
0T240017	670	418 JACKSON ST SE	V	Vacant	
0T240018	671	416 JACKSON ST SE	1976 NC	Commercial	
0T240019	672	400/402/410 JACKSON ST DUPLEX	1978 NC	Commercial	
0T240020	673	JACKSON-WATSON ST	c1950 NC	Residential	
0T240021	674	107 WATSON ST SE	V	Vacant	
0T240022	675	111 WATSON ST	c1930 C	Residential	
0T240023	676	115 WATSON ST WATSON MANOR	c1930 C	Residential	
0T240024	677	110 WATSON ST	1988 NC	Commercial	
0T240026	678	108 WATSON ST	1919 C	Residential	
0T240027	679	324 JACKSON ST SE	1934 C	Residential	
0T240028	680	318 JACKSON ST SE	1930 C	Commercial	
0T240029	681	JACKSON ST SE	1930 C	Commercial	
0T240029A00	682	101 E HILL ST SPRINT	V	Vacant	
0T240030	683	110 E HILL ST	2001 NC	Commercial	
0T240033	684	BLACK ST	1988 NC	Commercial	
0T240033A00	685	JACKSON ST SPRINT	c1940 C	Residential	
0T240033B00	686	147 E HILL ST	V	Vacant	
0T240035	687	303 BLACK ST	1955 NC	Commercial	
0T240036	688	207 E HILL STREET SE	1950 NC	Commercial	
0T240039	689	119 HUNT ST	1940 C	Commercial	
0T260110	690	HOUSE OF GOD CHURCH OF GO	1950 NC	Residential	
0T250025001	691	SOUTHSIDE APARTMENTS	1973 NC	Institutional	
0T250029	692	511 JACKSON ST SW	1980 NC	Residential	
0T250030	693	JACKSON & GUILL ST	c1920 NC	Residential	
0T250031	694	546/548 GUILL ST	V	Vacant	
0T250032	695	533 JACKSON ST SW	c1970 NC	Residential	
0T250076	696	607 JACKSON ST SW THOMSON PRE	1976 NC	Commercial	
0T250077	697	619 JACKSON ST	c1950 NC	Institutional	
0T250078	698	703 JACKSON ST SW	1949 NC	Residential	
0T250079	699	704 JACKSON ST SE	c1950 NC	Residential	
0T250080	700	111 FORREST CLARY DR SE	c1950 NC	Residential	
0T250081	701	620 JACKSON ST SE	c1970 NC	Residential	
0T250086	702	616 JACKSON ST SE	c1980 NC	Residential	
0T250087	703	612 JACKSON ST SE	1910 C	Residential	
0T250088	704	610 JACKSON ST SE	c1940 C	Residential	
0T250089	705	604 JACKSON ST SE	1971 NC	Residential	
0T250090	706	600 JACKSON ST SE	1951 NC	Residential	
0T250091	707	106 CHERRY ST	1920 C	Residential	
0T250115	708	540 JACKSON ST SE DENTIST OFFIC	1989 NC	Commercial	
0T250116	709	452 E HILL ST	1948 NC	Commercial	
0T310068	710	705 JACKSON ST SW	V	Vacant	
0T260001	711	711 JACKSON ST SW	1956 NC	Residential	



OT260002	712	713 JACKSON ST SW	1952 NC	Residential	
OT260003	713	721 JACKSON ST SW	c1920 C	Residential	
OT260004	714	809 JACKSON ST SW	1969 NC	Residential	
OT260005	715	821 JACKSON ST SW	c1950 NC	Residential	
OT260007	716	825 JACKSON ST SW	c1930 C	Residential	
OT260008	717	JACKSON ST SW	1968 NC	Residential	
OT260009	718	831 JACKSON ST SW	V	Vacant	
OT260010	719	JACKSON ST SW	c1960 NC	Residential	
OT260010A00	720	837 JACKSON ST SW	V	Vacant	
OT260011	721	839 JACKSON ST SW	c1950 NC	Residential	
OT260012	722	903 JACKSON ST SW	c1950 NC	Residential	
OT260013	723	909 JACKSON ST SW	c1960 NC	Residential	
OT260014	724	913 JACKSON ST SW NMH & 110 JEA	1967 NC	Residential	
OT260015	725	836 JACKSON ST SE	c1950 NC	Residential	
OT260022	726	830 JACKSON ST SE	1950 NC	Residential	
OT260024A00	727	826 JACKSON ST SE	1960 NC	Residential	
OT260025	728	822 JACKSON ST SE	1969 NC	Residential	
OT260026	729	820 JACKSON ST SE	1952 NC	Residential	
OT260026A00	730	808 JACKSON ST SE	1986 NC	Residential	
OT260029	731	716 JACKSON ST SE	c1950 NC	Residential	
OT260033	732	712 JACKSON ST SE	c1950 NC	Residential	
OT260034	733	708 JACKSON ST SE	c1950 NC	Residential	
OT260035	734	407 E HILL ST	c1950 NC	Residential	
OT310001	735	315 BUSSEY AVE	1964 NC	Commercial	
OT310002	736	C&C MFG HOUSING DEALER	2015 NC	Commercial	
OT310003	737	451 E HILL ST	c1980 NC	Commercial	
OT310004	738	0 E HILL ST	1964 NC	Commercial	
OT310005	739	509 E HILL ST	V	Vacant	
OT310006	740	521 E HILL ST	1946 C	Commercial	
OT310007	741	409 SALEM RD SE	1956 NC	Commercial	
OT310046	742	619 AUGUSTA RD SE	1935 C	Commercial	
OT310053	743	631 AUGUSTA HWY SE	1992 NC	Commercial	
OT310053A00	744	639 AUGUSTA RD SE	1970 NC	Commercial	
OT310054	745	655 AUGUSTA RD SE	1977 NC	Commercial	
OT310055	746	454 & 456 E HILL ST - Luckey Charm	c1980 NC	Commercial	
OT310069	747	440 & 442 E HILL ST	c1930 C	Commercial	
OT310070	748	E HILL ST	1977 NC	Commercial	
OT310071	749	112 116 & 118 RAILROAD ST IVERY'S	1960 NC	Commercial	
OT31A013	750	120 RAILROAD ST	1910 NC	Commercial	
OT31A015	751	124 RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A016	752	126 RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A017	753	128 RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A018	754	DEV AUTH-THOMSON	1900 C	Commercial	Downtown Core
OT31A019	755	132 RAILROAD ST	V	Vacant	Downtown Core
OT31A020	756	136 RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A021	757	138 RAILROAD ST	1940 C	Commercial	Downtown Core
OT31A022	758	140 RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A022A00	759	142 RAILROAD STREET	1900 C	Commercial	Downtown Core
OT31A023	760	146A RAILROAD ST	1900 C	Commercial	Downtown Core
OT31A024	761	CITY OF THOMSON	1895 NC	Commercial	Downtown Core
OT31A025	762	CITY OF THOMSON	V	Vacant	Downtown Core



0T31A026	763	CITY OF THOMSON		V	Vacant	
0T31A027	764	CITY OF THOMSON		V	Vacant	
0T31A028	765	CITY OF THOMSON		V	Vacant	
0T31A029	766	CITY OF THOMSON		V	Vacant	
0T31A030A00	767	CITY OF THOMSON	1950	NC	Institutional	
0T31A031	768	W HENDRICKS ST		V	Vacant	Downtown Core
0T31A032	769	CITY OF THOMSON		V	Vacant	Downtown Core
0T31A033	770	W HENDRICKS ST		V	Vacant	Downtown Core
0T31A034	771	101 & 103 MAIN ST H&R BLOCK		V	Vacant	Downtown Core
0T31A035	772	105 MAIN STREET	1910	C	Commercial	Downtown Core
0T31A036	773	107 MAIN ST	1910	C	Commercial	Downtown Core
0T31A037	774	109 MAIN ST	1920	C	Commercial	Downtown Core
0T31A038	775	111 MAIN ST	1930	C	Commercial	Downtown Core
0T31A038A00	776	CITY OF THOMSON	1910	C	Commercial	Downtown Core
0T31A038B00	777	113 MAIN ST ADDIE'S HAIR		V	Vacant	Downtown Core
0T31A039	778	FIRST AVE	1894	NC	Commercial	Downtown Core
0T31A040	779	CITY OF THOMSON		V	Vacant	Downtown Core
0T31A040A00	780	CITY OF THOMSON		V	Vacant	Downtown Core
0T31A041	781	MCDUFFIE MUSEUM INC		V	Vacant	Downtown Core
0T31A042	782	121 & 123 MAIN ST MCDUFFIE MUSEUM INC		V	Vacant	Downtown Core
0T31A043	783	125 & 127 MAIN WILSON BLDG	1900	C	Institutional	Downtown Core
0T31A044	784	CITY OF THOMSON	1920	C	Commercial	Downtown Core
0T31A044A00	785	CITY OF THOMSON		V	Vacant	Downtown Core
0T31A045	786	CITY OF THOMSON		V	Vacant	Downtown Core
0T31A046	787	131 MAIN ST THOMSON TWIN CINEMA		V	Vacant	Downtown Core
0T31A047	788	133 MAIN ST	1950	C	Commercial	Downtown Core
0T31A047A00	789	135 MAIN ST	1950	C	Commercial	Downtown Core
0T31A048	790	137 MAIN ST	1910	C	Commercial	Downtown Core
0T31A049	791	139 MAIN ST	1925	C	Commercial	Downtown Core
0T31A050	792	CITY OF THOMSON	1910	C	Commercial	Downtown Core
0T31A051	793	119 MILLEDGE ST	c1930	C	Commercial	Downtown Core
0T31A052	794	CITY OF THOMSON	1900	C	Commercial	Downtown Core
0T31A052A00	795	606 BOULEVARD DR SE TRUCK YARD		V	Vacant	
0T310065ICL	796	603 605 & 607 BOULEVARD DR		V	Vacant	
0T310066ICL	797	OFF WRENS HWY SE	1961	NC	Commercial	
0T330119	798	JACKSON ST SE		V	Vacant	
0T330122	799	602 E HILL ST		V	Vacant	
0T310059	800	WATSON BROWN FOUNDATION		V	Vacant	
00300050IC1	801	238 W HILL ST	1864	C	Institutional	
0T150074	802	602 MAIN ST MCDUFFIE CTY BRD U	1970	NC	Commercial	
0T130081	803	426 SALEM RD SE NMHS 694 & 696 B	1939	C	Institutional	
0T310053B00	804	201 ONEAL AVE PARCEL A	1963	NC	Residential	
0T230038B00	805	111 ONEAL AVE	1930	C	Residential	
0T230038C00	806	DEVELOPMENT AUTHORITY & CITY C	c1930	C	Residential	
0T160012A00	807	311 CLEVELAND ST COTTAGE 3		V	Institutional	
0T230124B00	808	311 CLEVELAND ST COTTAGE 6	2019	NC	Residential	
0T230124C00	809	311 CLEVELAND ST COTTAGE 5	c2000	NC	Residential	
0T230124S00	810	311 CLEVELAND ST COTTAGE 19	c2000	NC	Residential	
0T230124T00	811	311 CLEVELAND ST COTTAGE 13	c2000	NC	Residential	
0T230124L00	812	EAST HILL STREET PARCEL B	2019	NC	Residential	
0T240049F00	813	LUMPKIN ST LOT 2 E2020/82		V	Vacant	



0T050002A00	814	306-324 W HILL ST THOMSON PLAZA	V	Vacant	
0T150076	815	104 GORDON ST	1973 NC	Commercial	
0T140009	816		c1960 C	Residential	
0T140011A00	817	111 RAILROAD ST	V	Vacant	
0T31A030	818		1890 C	Residential	
RR	819		V	Vacant	Downtown Core
0T130021B00	820		V	Vacant	



F. Maps

Thomson Historic District Properties



Legend

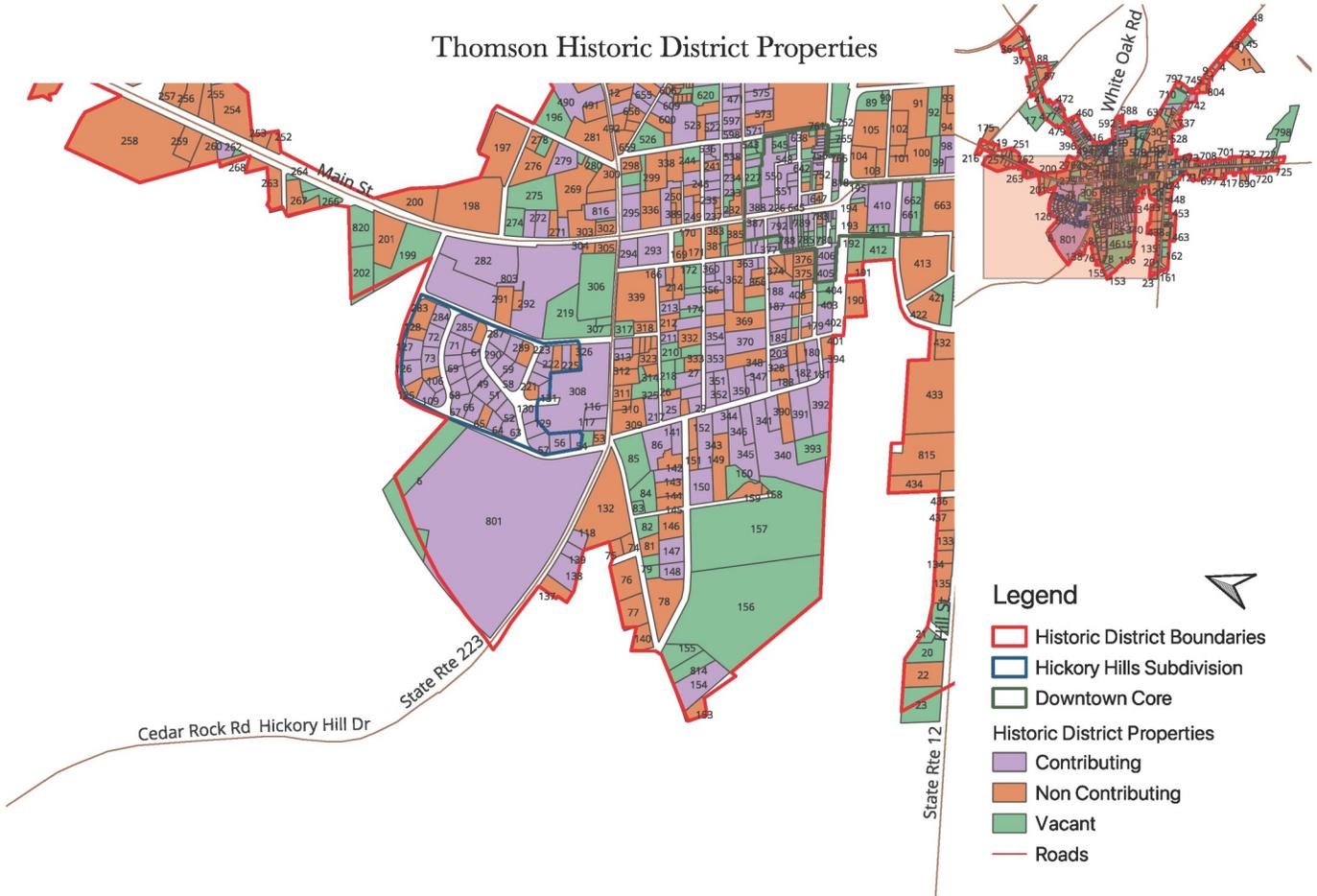
- Historic District Boundaries
- Hickory Hills Subdivision
- Downtown Core
- Historic District Properties
 - Contributing
 - Non Contributing
 - Vacant
- Roads



Northeast detail



Thomson Historic District Properties

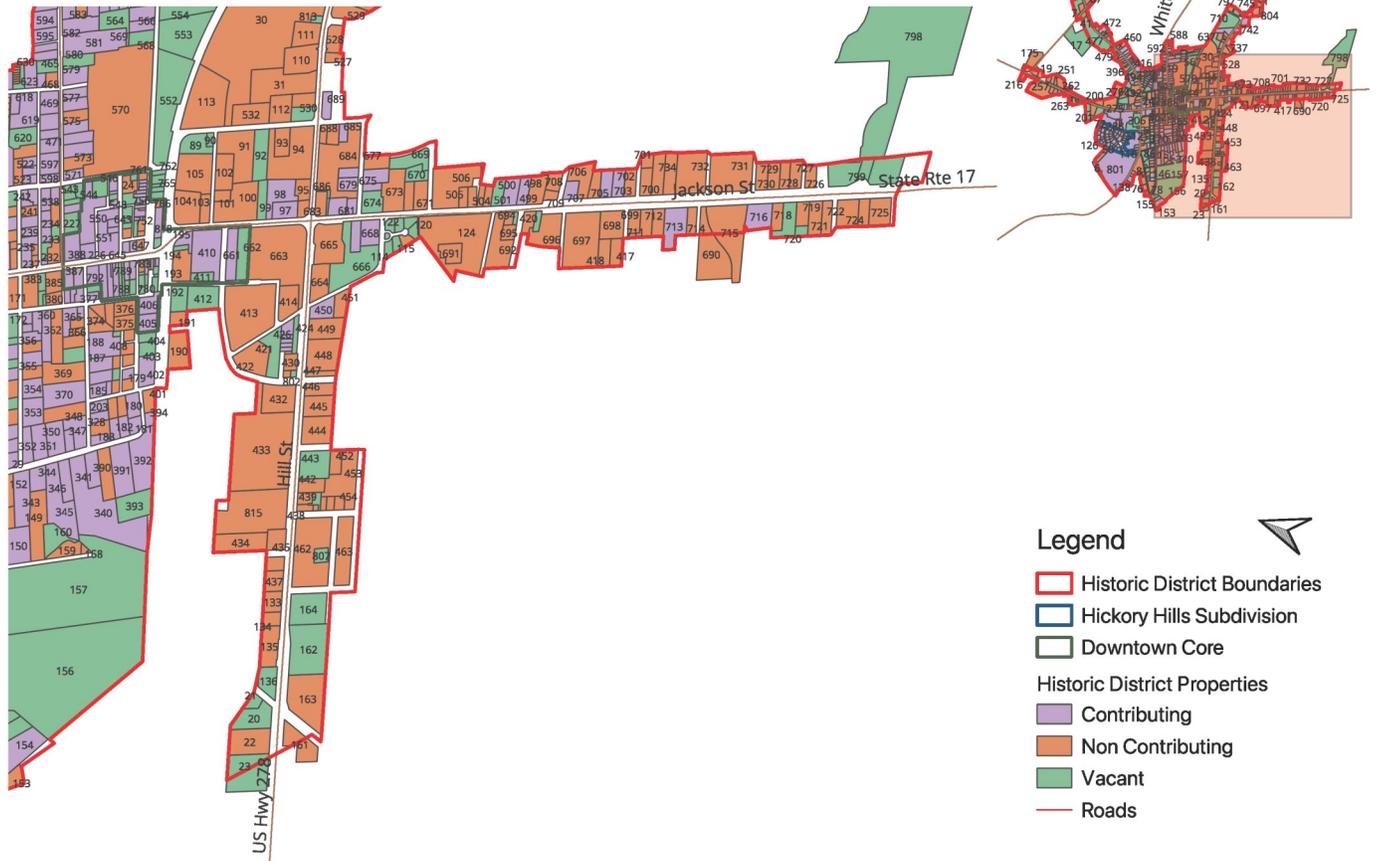


Northwest Detail

Thomson Historic District Design Guidelines



Thomson Historic District Properties



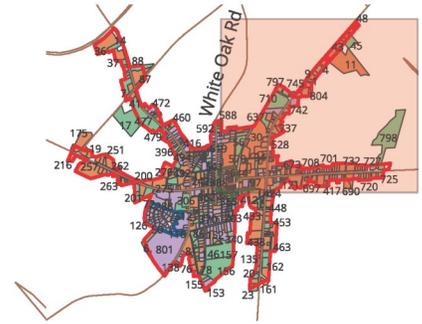
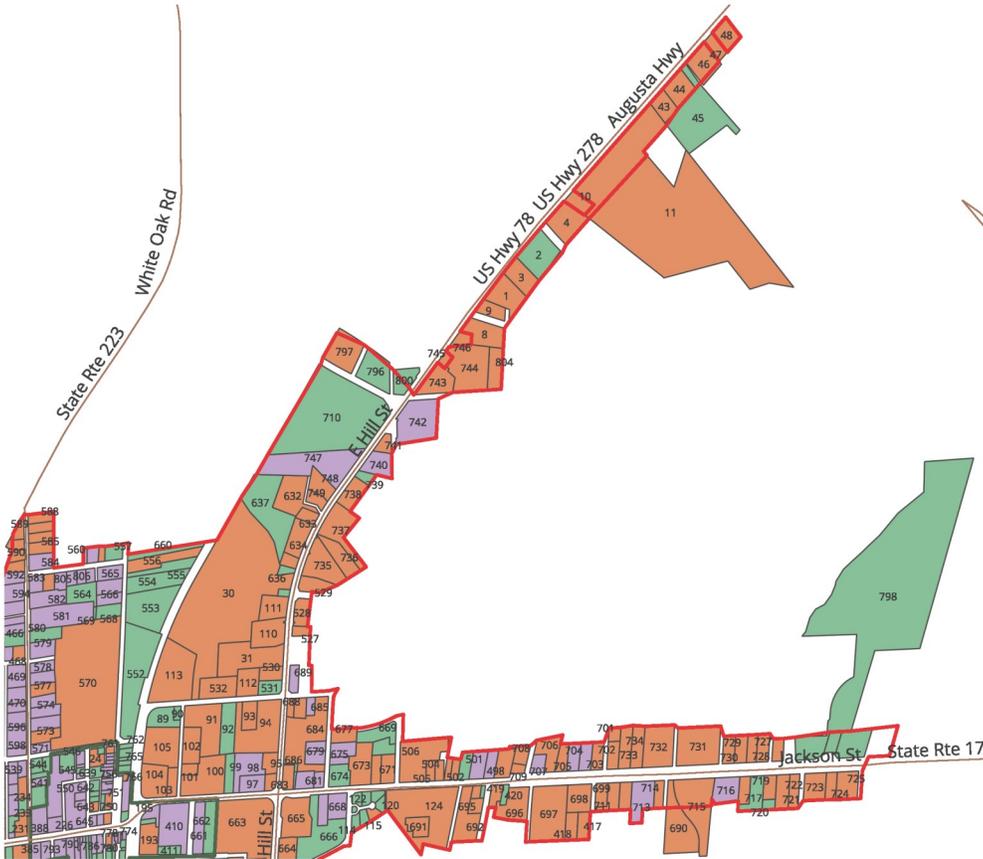
Legend

- Historic District Boundaries
- Hickory Hills Subdivision
- Downtown Core
- Historic District Properties
 - Contributing
 - Non Contributing
 - Vacant
- Roads

Southwest Detail



Thomson Historic District Properties



Legend

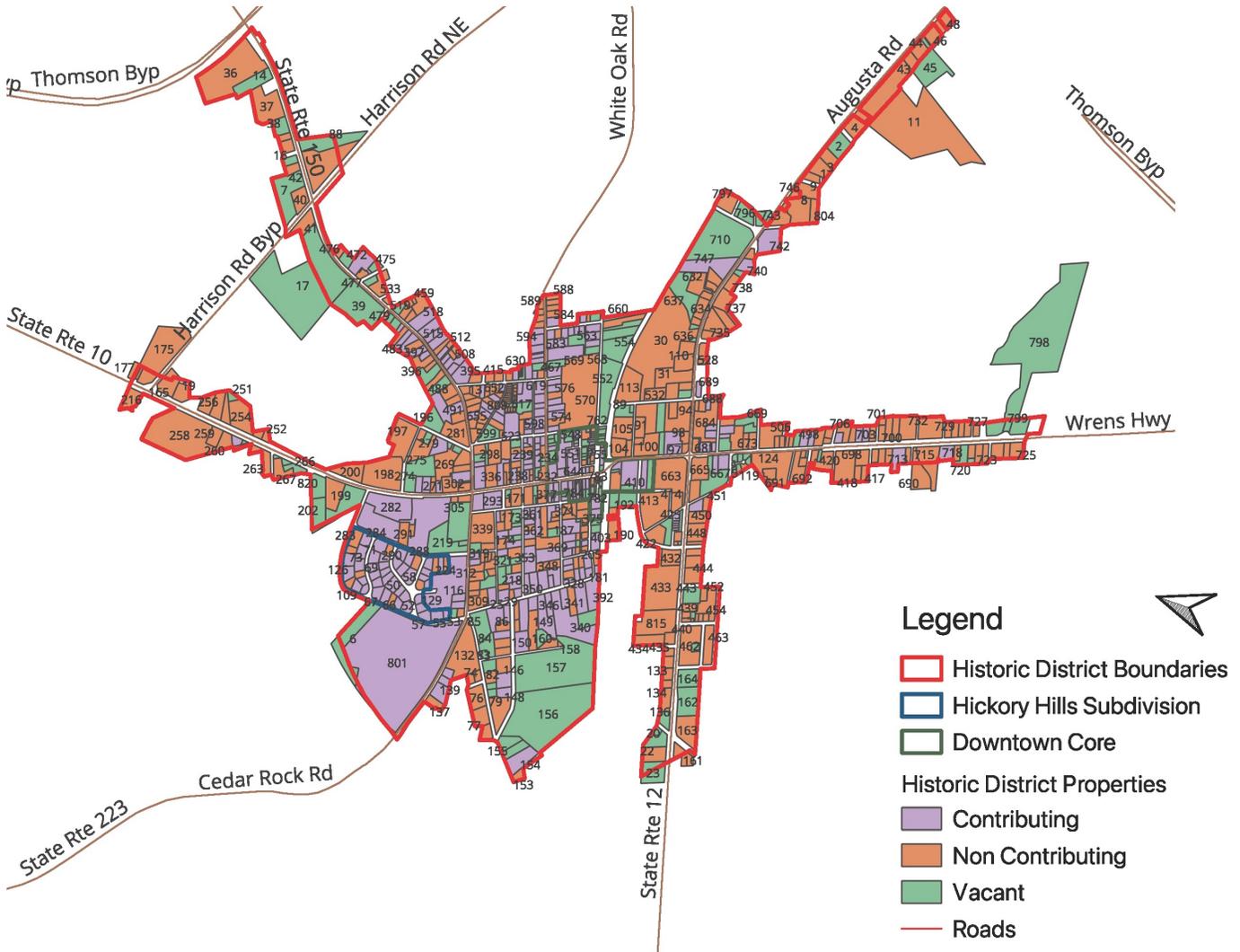
- Historic District Boundaries
- Hickory Hills Subdivision
- Downtown Core
- Historic District Properties
- Contributing
- Non Contributing
- Vacant
- Roads



Southeast Detail



Thomson Historic District Properties



Legend

- Historic District Boundaries
- Hickory Hills Subdivision
- Downtown Core
- Historic District Properties
 - Contributing
 - Non Contributing
 - Vacant
- Roads



G. Legal Description

The Thomson Historic District encompasses an area bounded by and commencing at the corner of Leslie Street and Main Street (OT 130-021-A00, OT130-019000 through OT130-016-000) traversing in a southeast direction, containing the Armory, Stadium, and along MLK, Jr. Street the Springfield Baptist Church. Proceeding along the northeast and -west sides of Gordon Street including Old Ellington Plantation, crossing to the south Mendel Avenue, Anderson Avenue, Ellington Avenue, and including Pecan Alley (OT130-015-000, OT220-083-000, OT220-080-000 through OT220-074-000) and (OT220-091-000 through OT220-106-000, and OT220-186-A00, OT188-000, OT210-018-000, OT210-012-000).

Proceeding southeast along Cleveland Street, crossing Edgar Circle(OT220-124-000, OT230-154-000, OT230-155-000) and crossing Holt Street (OT230-133-000 though OT230-130-000). Proceeding northeast along White Oak Street including part of McLean Street (OT230-109-000 through OT230-94-000,) to the intersection of Holt Street and Oak Court. Proceeding southeast along O'Neal Avenue to Railroad Street (OT230-032-000 through OT230-039-000). Continuing southeast including (OT230-177-000) and crossing the railroad tracks (OT240-049-000) to East Hill Street. Continuing southwest along East Hill Street (OT240-043-000 through OT240-038) to the intersection of Black Street and Watson Street (OT240-033) and south along Jackson Street/SR 17 (OT240-024-000 through OT240-016-000) crossing Pitts Street (OT250-126-000 through OT250-115-000), crossing Cherry Street, and terminating at the intersection of Forest Clary Drive (OT250-091-000 through OT250-091-000).

Proceeding again north along SR 17 on the west side (OT250-074-000 through OT250-078-000, OT250-059-000 through OT250-060-000), crossing Truman and Guill Streets (OT250-029-000 through OT250-032-000), including on Wilson Street, the Church of God in Christ (OT250-025-000) and Central Extension. Including the cul de sac and properties of Ware Street (OT250-021-A00 through OT250-021-H00). Proceeding northwest along Johnson Avenue (OT240-013-000) and then west along West Hill Street (OT150-093-000 through OT150-086-000), crossing National Avenue and Fluker Street (OT150-006-000 through OT150-007-000, crossing Hospital Drive, Emergency Room Drive, and terminating at Ansley Drive (OT160-013-000 through OT060-012-A00).

Proceeding northeast along Ansley Drive (OT060-005-000, OT050-012-000, OT050-013-000, part of 00310-001-000 and OT050-011-000), crossing the railroad tracks and proceeding northwest including the Westview Old Cemetery and New Cemetery (OT050-001-000 through OT050-004-000). Boundary crosses Mesena Road north to Cedar Rock Road following the old city boundary and includes (parts of 00300-003C00, 00300-003-A00, OT040-036-000, OT040-029-000, OT040-027-A00, OT040-025-A00). Boundary crosses Cedar Road/Hickory Hill Drive to include Hickory Hill (00300-050-000) to Magnolia Drive.

Boundary proceeds west along Magnolia Drive (OT030-057-000 through OT030-058-000) crossing Hemlock Drive (OT030-076-000 through OT030-078-000), crossing Beechwood Drive (OT030-095-000 through OT030-096-000), crossing Chestnut Drive (OT030-109-000, OT030-120-000), proceeding north along Magnolia Drive (OT030-126-000 through OT030-124-000, OT020-067-000 through OT020-060-000) to Larch Lane. Boundary proceeds southeast along Beechwood Drive (OT020-003-000 through OT020-001-000, OT030-110-000 through OT030-115-000). Boundary proceeds northeast along Leslie Street (OT130-021-A00) until it terminates at the point of origin with the Armory parcel.

H. Glossary of Terms

Abbreviations

HPC. Historic Preservation Commission

COA. Certificate of Appropriateness

Terms

Building Type. This refers to the overall form of a building, its outline or envelope; and in some cases relates to its layout or floorplan.

Certificate of Appropriateness. A document evidencing approval by the Historic Preservation Commission and/or Planning and Zoning Staff of an application to make a material change in the exterior appearance of a resource located within a designated historic district or to a designated historic landmark.

Contributing. Any resource located within a historic district which adds to the historic, architectural, or aesthetic significance of a historic district per its designation.

Deteriorated Beyond Repair. While each material has a different threshold, “deteriorated beyond repair” generally means that more than 50% of a material feature is no longer in serviceable condition and is no longer feasible to repair by patching, splicing, or otherwise reinforcing deteriorated materials.

Design Review. The evaluation of any proposed exterior work upon a property within the Thomson Historic District to ensure it is consistent with the standards and guidelines adopted for the district.

Distinct But Compatible. This statement refers to the design of additions to contributing buildings, which should be compatible with the character of the historic building but also stand as a product of its own time. Subtle changes in material and architectural details may assist in distinguishing additions from original buildings.

Integrity. The ability for a resource to convey its significance through location, design, setting, materials, workmanship, feeling, and association.

Maintenance. Activities that involve the preservation or repair of existing historic materials and building form.

Non-Contributing. Any resource that is within the bounds of a historic district but does not add to the historic, architectural, or aesthetic significance of a historic district per its designation.

Secretary of Interior’s Standards for Rehabilitation. Ten standards for historic building rehabilitation codified as 36 CFR 67 as part of the National Historic Preservation Act.

Period of Significance. The length of time when a district was associated with important events, activities, or persons, or attained the characteristics which qualify it for historic designation.



Primary façade. The facade of a building that faces the street or possesses the most prominent architectural articulation.

Rehabilitation. The process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

Zoning Administrator. The designated City staff person who administers the building code and reviews building permit applications.



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